GORMAN PARK

SITE AND PLAYGROUND IMPROVEMENTS

511 S 5TH STREET
ST. PETER, MINNESOTA 56082

PROJECT # 22-150

CONTEXT MAP

PROJECT DIRECTORY

OWNER

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CIVIL ENGINEER

BOLTON & MENK
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NELSON-RUDIE & ASSOCIATES, INC.
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Sheet List Table

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100% CONSTRUCTION DRAWINGS

GORMAN PARK
ST. PETER, MINNESOTA

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Name: Thomas Whitlock
Registration#: 26292
Signature: Tom Whitlock Date: 12/24/2024

100% CD SET: 12/24/2024
DF/ Project #: 22-150
Scale: PER SHEET
Drawn/Checked: AG / RP / JR / JM

REVISION: –

COVER SHEET

G000

GENERAL PROJECT NOTES

CONTRACT DOCUMENTS

1. THE WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS.
2. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. READ THE DRAWINGS IN CONJUNCTION WITH THE SPECIFICATIONS AND EXECUTE THE WORK.
3. THE WORK IS DEPENDENT ON SEVERAL DISCIPLINES. READ THE DRAWINGS BY CROSS-REFERENCING BETWEEN DISCIPLINES.
4. REPORT DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR DIRECTION BEFORE PROCEEDING WITH THE WORK.

SITE ACCESS & PROTECTION

1. STAGING AREA IS WITHIN THE CONTRACT LIMIT (OR "PROJECT LIMITS") LINE. STAGING AREA DOES NOT INCLUDE ACCESS ROUTES TO THE SITE. THE CONSTRUCTION (AND REMOVAL) OF TEMPORARY STAGING AREAS AND/OR ACCESS ROUTES SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY AND EXPENSE.
2. CONSTRUCTION RELATED VEHICLES REQUIRED FOR THE WORK EXITING AND/OR ENTERING THE SITE SHALL NOT DEPOSIT DIRT, MUD, OR OTHER DELETERIOUS MATERIALS THAT WOULD PRESENT A NUISANCE OR HAZARD TO THE PUBLIC TRAVELING ON RIGHT OF WAYS. PREVENTION AND CLEANING SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY AND EXPENSE.
3. NO WORK, EQUIPMENT OR STAGING IS PERMITTED OUTSIDE THE LIMIT LINES UNLESS THE CONTRACTOR HAS APPROVAL FROM AUTHORITIES. COORDINATION PERMITS AND TRAFFIC CONTROL REQUIRED SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY AND EXPENSE.
4. THE DOCUMENTS DO NOT SPECIFY SAFETY MATERIALS, EQUIPMENT, METHODS OR SEQUENCING TO PROTECT PERSONS AND PROPERTY. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY AND EXPENSE TO DIRECT AND IMPLEMENT SAFETY OPERATIONS TO PROTECT PERSONS AND PROPERTY.

QUALITY ASSURANCE

1. EXECUTE THE WORK AND SCHEDULE INSPECTIONS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL STANDARDS, LAWS AND REGULATIONS.
2. ENSURE SUBCONTRACTORS, MANUFACTURERS AND SUPPLIERS HAVE THE LATEST CONTRACT DOCUMENTS PRIOR TO THE SUBMITTAL OF THEIR SHOP DRAWINGS AND/OR DELEGATED DESIGN DRAWINGS.
3. REFER TO THE SPECIFICATIONS FOR REQUIRED SUBMITTALS, INSPECTIONS AND NOTICE TO PROCEED.

EXISTING CONDITIONS SURVEY

1. THE DOCUMENTS ARE BASED ON THE FOLLOWING TOPOGRAPHIC AND UTILITY SURVEY:
   - TOPOGRAPHIC SURVEY BY BOLTON & MENK, INC. ON MAY 01, 2024.
2. SURVEYED UNDERGROUND UTILITIES ARE PROVIDED FOR INFORMATION ONLY AS THEY ARE INFERRED BY SURFACE MARKINGS AND FEATURES AND AS SUCH MAY NOT BE ACCURATE OR COMPLETE.

GEOTECHNICAL REPORT

1. THE GEOTECHNICAL REPORTS ARE MADE AVAILABLE FOR INFORMATION ONLY AS SOME RECOMMENDATIONS IN THE REPORT MAY NOT BE RELEVANT OR USED IN THE DOCUMENTS.

UTILITIES

1. THE LOCATIONS AND SIZES OF EXISTING UTILITIES (IF SHOWN) ARE APPROXIMATE ONLY. IDENTIFY, LOCATE AND PROTECT UNDERGROUND AND OVERHEAD UTILITIES TO REMAIN.
2. COORDINATE WITH THE LOCAL UTILITY COMPANIES AND/OR AGENCIES. CALL LOCAL '811' OR REQUEST LOCATES ONLINE NO LESS THAN 48 HOURS PRIOR TO DIGGING TO LOCATE UNDERGROUND UTILITIES OR AS REQUIRED BY LOCAL REGULATIONS.
3. BE FULLY RESPONSIBLE FOR THE COST OF DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO ACCURATELY LOCATE AND/OR RETAIN UTILITIES TO REMAIN.

LAYOUT

1. THE VERTICAL CONTROL FOR THE PROJECT IS: NORTH AMERICAN VERTICAL DATUM (NAV88) OR NATIONAL GEODETIC DATUM (NGDV29) UNLESS OTHERWISE NOTED.
2. VERIFY THE LOCATION OF EXISTING FEATURES TO REMAIN THAT CONNECT TO NEW WORK, DIMENSIONAL CLEARANCES, SETBACKS AND OFFSETS AND VERTICAL DATUM. REPORT DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR DIRECTION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
3. VERIFY PREVIOUS UNDERLYING TRADEWORK CONFORMS TO THE DOCUMENTS PRIOR TO PROCEEDING WITH OVERLYING TRADEWORK. REPORT DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR DIRECTION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
4. GENERAL CONTRACTOR SHALL RETAIN SURVEY CONTROL FOR LAYOUT OF THE WORKS AND AS-BUILT SURVEYS.
5. COORDINATE AND COLLATE SUBCONTRACTOR'S SURVEYS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING SITE CONDITIONS AND EVOLVING SITE CONDITIONS PRIOR TO THE START OF SITE WORK. DISCREPANCY AND/OR UNFORESEEN CONDITIONS FOUND SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO STARTING THE SITE WORK. DO NOT BEGIN WORK IN SUCH AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED.
6. ERECT AND INSTALL ALL WORK LEVEL, PLUMB, SQUARE, TRUE, STRAIGHT AND IN PROPER ALIGNMENT.
7. DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS SHOWN AND/OR SUPPLIED CAD DRAWING FILE AND SURVEY INTERPOLATION.
8. DIMENSIONS NOTED "CLR" OR "CLEAR" MUST BE STRICTLY MAINTAINED ALLOWING FOR THICKNESS OF FINISHES. FIELD VERIFY PRIOR TO CONSTRUCTION.
9. ANGLES ARE 90 DEGREES UNLESS NOTED OTHERWISE.
10. CURVES FOR PAVING, BANDS, PATHS, EDGING AND HEADER BOARDS SHALL BE SMOOTH AND CONTINUOUS WITHOUT ABRUPT CHANGES, OBVIOUS TANGENTS OR BENDS.
11. PITCH EVENLY BETWEEN SPOT GRADES AND CONTOUR LINES UNLESS GRADE BREAKS, RIDGELINES, SWALES ARE INDICATED OR OTHERWISE NOTED. PAVED AREAS SHALL PITCH AT A MINIMUM OF 1% UNLESS OTHERWISE NOTED ON DRAWINGS. DISCREPANCIES OR CONDITIONS NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE FOR RESOLUTIONS PRIOR TO CONTINUING WORK.
12. PEDESTRIAN SIDEWALKS AND PAVING SHALL HAVE A CROSS PITCH LESS THAN 2% UNLESS OTHERWISE NOTED TO MEET ADA REQUIREMENTS.
13. REQUEST A FIELD REVIEW BY THE LANDSCAPE ARCHITECT OF THE LAYOUT OF ELEMENTS AS SHOWN. OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF LAYOUT BEFORE INSTALLING THE FOLLOWING:
    - FIRST TYPICAL SITE LIGHTING FIXTURES, JUNCTION BOXES, TRANSFORMERS.
    - FIRST TYPICAL SITE UTILITY FIXTURES, INCLUDING BUT NOT LIMITED TO BOXES, VAULTS, PULL BOXES, MAN HOLES, AIR RELEASE VALVES, VENTS, BFP, AND OTHER CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, TELECOM, HEATING/COOLING, AND IRRIGATION STRUCTURES.
    - FIRST TYPICAL FORMWORK OF WALLS.
    - TREE LOCATIONS. STAKE ALL TREE LOCATIONS. OBTAIN APPROVAL OF LANDSCAPE ARCHITECT BEFORE PLANTING TREES.
    - FIRST TYPICAL CURVED EDGING AND CUTTING.
    - FIRST TYPICAL EXPANSION JOINTS IN CONCRETE PAVING.

WORK BY OTHERS

1. COOPERATE AND COORDINATE WITH OTHER CONTRACTORS WORKING CONCURRENTLY SO AS TO NOT VIOLATE EACH OTHER'S PERMITS AND TO AVOID DAMAGE TO EACH OTHER'S WORK.
2. EACH CONTRACTOR SHALL PROTECT AND MAINTAIN THEIR OWN WORK FOR THE DURATION OF THEIR CONTRACTS.

CODE COMPLIANCE

1. WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LAWS, CODES AND REQUIREMENTS OF REGULATORY AGENCIES HAVING JURISDICTION.
2. NOTIFY THE OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE WORK AND APPLICABLE CODES. DO NOT WORK IN AN AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED.
3. VERIFY CODES IN EFFECT AT THE TIME OF THE NOTICE TO PROCEED AND STAY CURRENT WITH CODE CHANGES WHICH AFFECT THE WORK UNTIL SUBSTANTIAL COMPLETION.
4. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AND PAY FOR CONSTRUCTION RELATED PERMITS.

CODES IN EFFECT

1. THE FOLLOWING CODES ARE APPLICABLE AND IN EFFECT:
   - CODE OF ORDINANCES CITY OF SAINT PETER, MINNESOTA CODIFIED THROUGH ORDINANCE NO. 57(3RD SER.), ADOPTED DECEMBER 12, 2022. (SUPP. NO. 14)
2. REVISIONS TO THE APPROVED AND PERMITTED DRAWINGS OR DOCUMENTS SHALL BE SUBMITTED TO THE CODE AUTHORITIES FOR REVIEW. NOTIFY THE OWNER'S REPRESENTATIVE OF THE PROCESSING TIME FOR EACH REVISION SUBMITTED FOR PLAN CHECK.

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1. THE USE OF REPRODUCTIONS OF THE CONTRACT DOCUMENTS OR ELECTRONIC FILES AS SHOP DRAWING DOCUMENTS BY THE CONTRACTOR IS AT THEIR OWN RISK. THE DESIGN CONSULTANTS ASSUME NO LIABILITY AS A RESULT OF THE USE OF REPRODUCTIONS OF THE CONTRACT DOCUMENTS FOR SHOP DRAWINGS AND/OR DELEGATED DESIGN DRAWINGS.
2. THE ENTIRE CONTRACT DOCUMENT PACKAGE HEREIN IS THE ORIGINAL AND UNPUBLISHED PROPERTY OF THE OWNER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE PRIOR EXPLICIT WRITTEN CONSENT.
3. THE USE OF DIGITAL DESIGN FILES SHALL REQUIRE THE CONTRACTOR TO AGREE TO PRIME CONSULTANT'S LICENSE CONDITIONS BEFORE USE.

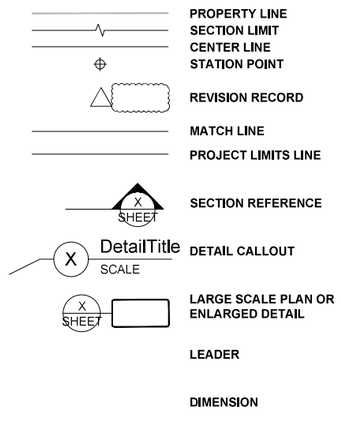
CONSTRUCTION LOADS, DAMAGES & REPAIRS

1. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SLOPE STABILITY AND DE-WATERING DURING THE WORKS UNLESS UNKNOWN CONDITIONS ARE ENCOUNTERED.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROTECTING THE WORKS FROM CONSTRUCTION LOADS AND DAMAGES TO EXISTING STRUCTURES TO REMAIN, NEW STRUCTURES AND NEW PAVEMENTS DURING THE WORKS.
3. BE FULLY RESPONSIBLE FOR THE COST OF DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO MITIGATE CONSTRUCTION LOADS AND/OR PROTECT THE WORKS FROM CONSTRUCTION RELATED IMPACTS. REPAIRS SHALL BE TO A NEW OR BETTER CONDITION COMPARED TO THE EXISTING CONDITION BEFORE DAMAGE, AND AS APPROVED BY THE OWNER'S REPRESENTATIVE.
4. CONFIRM ON-STRUCTURE UNIFORM AND POINT LOAD LIMITS WITH ENGINEER PRIOR TO IMPORTING AND HANDLING LANDSCAPE MATERIALS OVER VAULTS, AND/OR TUNNELS, INCLUDING UTILITY STRUCTURES, AND FLOOD CONTROL STRUCTURES.

CONSTRUCTION WASTE MANAGEMENT

1. REMOVE FROM THE SITE EXCESS MATERIAL AND/OR DEBRIS. DISPOSAL OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. EXCESS MATERIAL AND/OR DEBRIS TO ABLE TO BE RECYCLED OR REUSED SHALL BE DISPOSED OF OFF THE PROJECT SITE IN A PERMITTED LANDFILL.

SYMBOLS



PROPERTY LINE
SECTION LIMIT
CENTER LINE
STATION POINT
REVISION RECORD
MATCH LINE
PROJECT LIMITS LINE
SECTION REFERENCE
DETAIL CALLOUT
LARGE SCALE PLAN OR ENLARGED DETAIL
LEADER
DIMENSION
DIMENSION (RADIUS, ANGLE, FOCI)
DIMENSION (ARC LENGTH)
ALIGN
KEY NOTE

ABBREVIATIONS

APPROX	APPROXIMATE
AVG	AVERAGE
BLDG	BUILDING
BM	BENCHMARK
BOS	BOTTOM OF STAIR
BOT	BOTTOM
C	CHILLER
CB	CATCH BASIN
CIP	CAST-IN-PLACE
CJ	CONTROL JOINT
CL	CENTER LINE
CLR	CLEAR
CLL	CONTRACT LIMIT LINE
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CTR	CENTER
DAT	DATUM
DEG	DEGREE
DIA	DIAMETER
DIM	DIMENSION
DIST	DISTANCE
DIV	DIVISION
DWG	DRAWING
E	EAST
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
EP	EDGE OF PAVEMENT
EQ	EQUAL
EQSP	EQUAL SPACING
EQUIV	EQUIVALENT
EX	EXISTING
F	FAHRENHEIT
FC	FOOTCANDLE
FFE	FINISH FLOOR ELEVATION
FF&E	FURNITURE, FIXTURE, AND EQUIPMENT
FG	FINISHED GRADE
FOC	FACE OF CURB
FOW	FACE OF WALL
FV	FIELD VERIFY
GALV	GALVANIZED
GDR	GUARDRAIL
H	HIGH
HB	HOSE BIBB
HDPE	HIGH DENSITY POLYETHYLENE
HH	HAND HOLE
HDR	HANDRAIL
HORIZ	HORIZONTAL
HT	HEIGHT
HV	HIGH VOLTAGE
ID	INSIDE DIMENSION
INV.EL	INVERT ELEVATION
KW	KILOWATT
LDPE	LOW DENSITY POLYETHYLENE
LED	LIGHT EMITTING DIODE
LF	LINEAR FEET
LPT	LOW POINT
LTD	LIMITED
LV	LOW VOLTAGE
LW	LOW WATER
MAX	MAXIMUM
MFR.REC	MANUFACTURER'S RECOMMENDATIONS
MH	MANHOLE
MID	MIDDLE
MIN	MINIMUM
N	NORTH
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OVERHANG
PB	PULL BOX
PC	POINT OF CURVE
PCC	PRECAST CONCRETE
PERF	PERFORATED
PERP	PERPENDICULAR
pH	ACID/ALKALINE SCALE
PH	PHASE
PI	POINT OF INTERSECTION
PKG	PACKAGE
PL	PROPERTY LINE
PLBG	PLUMBING
PRCST	PRECAST
PREFAB	PREFABRICATE
PROV	PROVISIONAL
PVC	POLYVINYL CHLORIDE
PWR	POWER
QTR	QUARTER
QTY	QUANTITY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RECIRC	RECIRCULATE
RECPT	RECEPTACLE
REINF	REINFORCE
REQD	REQUIRED
REV	REVISION
RLG	RAILING
ROW	RIGHT OF WAY
S	SOUTH
SALV	SALVAGE
SEG	SEGMENT
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SSD	SUBSOIL DRAIN
SST	STAINLESS STEEL
STA	STATION
STD	STANDARD
SUCT	SUCTION
T	TRANSFORMER
TAN	TANGENT
TBD	TO BE DETERMINED
TB-XX	TEST BORING
TD	TRENCH DRAIN
TEMP	TEMPORARY
THK	THICKNESS
THRU	THROUGH
TO_	TOP OF _
TOC	TOP OF CURB
TOL	TOLERANCE
TOS	TOP OF SLOPE
TOW	TOP OF WALL
TR	TRASH
TS	TOP OF STAIR
TYP	TYPICAL
UGND	UNDERGROUND
UNIF	UNIFORM
UP	UTILITY POLE
UV	ULTRAVIOLET
VAR	VARIES
VERT	VERTICAL
VRFY	VERIFY
W	WEST
W/	WITH
W/O	WITHOUT
WL	WATERLINE
WLD	WELDED
WT.EL	WATER ELEVATION
XFMR	TRANSFORMER
YR	YEAR
@	AT
&	AND
- / +	DIMENSION TOLERANCE
IJ	ISOLATION JOINT
HW	HIGH WATER
NP	NORMAL POOL
GB	GRADE BREAK

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100% CONSTRUCTION DRAWINGS

GORMAN PARK

ST. PETER, MINNESOTA

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Name: Thomas Whitlock
Registration#: 26292
Signature: Tom Whitlock Date: 12/24/2024

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REVISION –

GENERAL NOTES, ABBREVIATIONS & SYMBOLS

G001

EXISTING CONDITIONS & SITE REMOVAL NOTES

SITE SPECIFIC NOTES

1. EXISTING TREEMENDOUS PLAYGROUND TO REMAIN OPEN TO PUBLIC THROUGHOUT PHASE 1 CONSTRUCTION.
2. ALL TREES MARKED AS DEMO TO BE CLEARED AND GRUBBED WITH STUMPS BEING GROUND 36" BELOW FINISHED GRADE.
3. TRACK PADS OR LANDSCAPE ARCHITECT APPROVED ALTERNATE TO BE USED THROUGHOUT SITE IF CONSTRUCTION EQUIPMENT IS BEING USED BELOW EXISTING TREE DRIPLINES.

SITE REMOVAL NOTES

1. EXISTING SITE INFORMATION WAS PROVIDED BY OTHERS. ACTUAL FIELD CONDITIONS MAY VARY. FIELD VERIFY UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
2. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT EXISTING UTILITIES OR STRUCTURES LOCATED AT THE WORK SITE.
3. CONTRACTOR TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION BY CALLING GOPHER STATE ONE-CALL AT 651-454-0002 (METRO) OR 1-800-252-1166 (OUT-STATE).
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY UTILITY COMPANY'S FORCES AND FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING FEES AND CHARGES.
5. ALWAYS VERIFY BENCHMARK ELEVATIONS BETWEEN TWO BENCHMARKS.
6. REMOVAL ITEMS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER PER LOCAL GOVERNING AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
7. PRIOR TO DEMOLITION, EROSION CONTROL DEVICES ARE TO BE INSTALLED WHERE NECESSARY AND OBTAIN AN NPDES STORM WATER PERMIT. REFER TO CIVIL FOR EROSION CONTROL.
8. DAMAGE TO REMAINING EXISTING CONDITIONS WILL BE REPLACED AT CONTRACTOR'S EXPENSE AND SHALL BE EQUAL TO OR EXCEED THE QUALITY OF CONSTRUCTION PRIOR TO DAMAGE.
9. CONCRETE PAVEMENT, SIDEWALKS, CURB AND GUTTER, AND OTHER POURED CONCRETE ITEMS ARE TO BE REMOVED TO AN EXISTING EXPANSION OR CONTRACTION JOINT.
10. CONTRACTOR SHALL LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS. IF DAMAGE IS INCURRED ON THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO THE OWNER. BITUMINOUS PAVEMENT REMOVALS ARE TO BE MADE WITH A VERTICAL SAW CUT OR TO A NEAT MILLED EDGE.
11. CONTRACTOR SHALL PRESERVE VEGETATION NOT TO BE REMOVED BY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-SEEDING OR SODDING AREAS DISTURBED BY CONSTRUCTION.
12. LOCATION AND ELEVATIONS OF IMPROVEMENTS TO BE MET (OR AVOIDED) SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT DISCREPANCIES BETWEEN THEIR MEASUREMENTS AND THESE PLANS. CONTRACTOR SHALL ALSO MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
13. EXISTING UTILITIES TO REMAIN IN PLACE UNLESS SPECIFICALLY MARKED ON THIS SHEET.

SITE AND LANDSCAPE NOTES

SITE PREPARATION NOTES

1. CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
2. CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
3. CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND MATERIALS SUPPLIED.
4. CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
5. CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION BEGINS (MINIMUM 10' CLEARANCE).
6. CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
7. UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF EXISTING TREES TO REMAIN.
8. EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
9. HORIZONTAL AND VERTICAL ALIGNMENT OF PROPOSED WALKS, TRAILS OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO IMPLEMENTATION.
10. CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
11. CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF SUBSTANTIAL COMPLETION. REPAIR OF ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO SUBSTANTIAL COMPLETION SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
12. EXISTING TREES OR SIGNIFICANT SHRUB MASSINGS FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.

12. EXISTING OR FOUND BOULDERS ON SITE SHALL BE PROTECTED AND STOCKPILED FOR FUTURE USE.
13. EXISTING TREES TO REMAIN, UPON DIRECTION OF LANDSCAPE ARCHITECT, SHALL BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD, DAMAGED AND RUBBING BRANCHES.
14. CONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN REQUEST FOR THE SUBSTANTIAL COMPLETION INSPECTION OF LANDSCAPE AND SITE IMPROVEMENTS PRIOR TO SUBMITTING FINAL PAY REQUEST.
15. CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWING(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO SUBSTANTIAL COMPLETION.
16. SYMBOLS ON PLAN DRAWING TAKE PRECEDENCE OVER SCHEDULES IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS AND DETAILS TAKE PRECEDENCE OVER NOTES.

SOIL TESTING

1. CONTRACTOR SHALL OBTAIN A SOIL SAMPLE(S) FROM PROJECT SITE AND/OR SALVAGED TOPSOIL STOCKPILE AND SUBMIT TO INDEPENDENT TESTING AGENCY. ANALYSIS AND RECOMMENDATIONS FOR (INCLUDING BUT NOT LIMITED TO) MACRONUTRIENTS, MICRONUTRIENTS, COMPOSITION AND SOLUBLE SALTS SHALL BE PROVIDED.
2. CONTRACTOR SHALL PROVIDE ANALYSIS RESULTS AND RECOMMENDATIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO SOIL AMENDMENT AND PRIOR TO PLANTING.

GRADING

1. ROUGH GRADING AND FINISHED GRADING TO BE DONE BY OTHERS EXCEPT WHERE NOTED.
2. GRADING LIMITS ARE DEFINED AS THE JUNCTURE OF PROPOSED GRADE WITH EXISTING GRADE UNLESS NOTED OTHERWISE.
3. GRADING LIMITS AND LIMITS OF WORK SHOWN ON PLAN ARE ONLY APPROXIMATE AND MAY BE ADJUSTED IN FIELD BY LANDSCAPE ARCHITECT. WORK OUTSIDE OF THESE LIMITS WILL BE DONE AT LANDSCAPE CONTRACTORS EXPENSE UNLESS DIRECTED BY LANDSCAPE ARCHITECT OR OWNER IN WRITING.
4. FILL/CUT AS NECESSARY TO PROVIDE A 1% MINIMUM GRADE AWAY FROM BUILDINGS WITHIN LIMITS OF CONSTRUCTION.
5. SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE OR AS INDICATED ON PLANS AND STOCKPILE FOR REUSE.
6. MAINTAIN A UNIFORM GRADE BETWEEN CONTOURS IN AREAS TO BE GRADED UNLESS NOTED OTHERWISE.
7. ELEVATIONS, IF SHOWN ARE FINISHED ELEVATIONS. SPOT ELEVATIONS TAKE PRECEDENCE OVER CONTOURS.
8. ADD EROSION CONTROL MEASURES IF GRADES GREATER THAN 3:1 OR IF CONDITIONS WARRANT. REFER TO MNDOT SPECIFICATIONS FOR EROSION CONTROL.
9. CONTRACTOR SHALL CONTACT PUBLIC UTILITIES FOR LOCATION OF UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. LANDSCAPE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
10. CONTRACTOR SHALL PROVIDE PROPER EROSION CONTROL MEASURES AS REQUIRED TO ENSURE THAT EROSION IS KEPT TO AN ABSOLUTE MINIMUM.
11. PROVIDE TEMPORARY COVERING FOR CATCH BASINS AND MAN HOLES UNTIL FINISHED GRADING IS COMPLETE.
12. CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS AS NEEDED.
13. PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. REFER TO STATE SPECIFICATIONS FOR AGGREGATE BASE AND SILT FENCE.
14. CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES PER LOCAL POLLUTION CONTROL AGENCY AND SPECIFICATIONS.
15. WITHIN TWO WEEKS OF FINISHED SITE GRADING, DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, MULCH OR ROCK BASE.
16. CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF ACCUMULATED SILT IN FRONT OF SILT FENCES AND EXCESS SEDIMENT IN PROPOSED CATCH BASINS, FOR THE DURATION OF CONSTRUCTION.
17. CONTRACTOR SHALL REMOVE EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED AND DISPOSE OF OFF SITE.
18. CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN PLANTING AREAS.

PLANTING

1. SPRING PLANT MATERIAL INSTALLATION IS FROM APRIL 15 TO JUNE 15.
2. FALL CONIFEROUS PLANTING IS ACCEPTABLE FROM AUGUST 21 TO SEPTEMBER 30.
3. FALL DECIDUOUS PLANTING IS ACCEPTABLE FROM AUGUST 15 UNTIL NOVEMBER 15.
4. ADJUSTMENTS TO PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
5. STAKE PROPOSED PLANTING LOCATIONS PER PLAN FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALL.
6. PLANT MATERIAL SHALL COMPLY WITH THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO 'V' CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACE.
7. INSTALL PLANT MATERIAL AFTER FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
8. INSTALL PLANT MATERIALS PER PLANTING DETAILS.
9. SUBSTITUTION REQUESTS FOR PLANT MATERIAL TYPE & SIZE SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR CONSIDERATION PRIOR TO BIDDING. SUBSTITUTIONS AFTER BIDDING MUST BE APPROVED BY LANDSCAPE ARCHITECT AND ARE SUBJECT TO CONTRACT ADJUSTMENTS.
10. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
11. FERTILIZE PLANT MATERIALS IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS.
12. INSTALL 18" DEPTH OF PLANTING SOIL IN AREAS RECEIVING GROUND COVER, PERENNIALS, AND ANNUALS.
13. TREE WRAPPING MATERIAL SHALL BE PAPER APPLIED FROM TRUNK FLARE TO FIRST BRANCH. WRAP SMOOTH-BARKED DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1 AND REMOVE WRAPPING AFTER MAY 1.
14. APPLY PRE-EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL) IN ANNUAL, PERENNIAL, AND SHRUB BEDS FOLLOWED BY SHREDDED HARDWOOD MULCH. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING USE OF HERBICIDES.

MULCHING

1. INSTALL 4" DEEP FINELY SHREDDED HARDWOOD MULCH RINGS AT CONIFEROUS & DECIDUOUS TREES WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.
2. INSTALL 3" DEEP FINELY SHREDDED HARDWOOD MULCH RINGS AT SHRUB PLANTING AREAS WITH NO MULCH IN DIRECT CONTACT WITH SHRUB STEMS.
3. INSTALL 3" DEEP FINELY SHREDDED MULCH IN PERENNIAL PLANTING BEDS. REMOVE ALL MULCH FROM STEMS OF PERENNIALS; PLANT STEMS SHOULD NOT BE IN DIRECT CONTACT WITH MULCH.

WATERING

1. PLANTED MATERIALS SHALL BE WATERED BY TEMPORARY MEANS UNTIL PLANTS ARE ESTABLISHED.
2. TEMPORARY WATERING MEANS, METHODS, AND SCHEDULING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. REMOVE TEMPORARY WATERING EQUIPMENT UPON PLANT ESTABLISHMENT.

WARRANTY

1. WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

TURF NOTES

1. SEED AREAS DISTURBED DUE TO GRADING UNLESS NOTED OTHERWISE.
2. WHERE SEEDED AREAS ABUTS PAVED SURFACES, FINISHED GRADE SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
3. UNLESS NOTED OTHERWISE, THE APPROPRIATE DATES FOR SEED PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.
4. FALL SEEDING IS ACCEPTABLE FROM AUGUST 15 TO SEPTEMBER 15. ADJUSTMENTS TO SEED PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

IRRIGATION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION THAT MEETS THE REQUIREMENTS OF THE PROVIDED PERFORMANCE SPECIFICATION AS PART OF THE SCOPE OF WORK. SUBMIT LAYOUT PLAN AND SPECIFICATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.
2. CONTRACTOR SHALL FIELD VERIFY WATER SUPPLY, VOLUME, PRESSURE AND LOCATION FOR SYSTEM TAP PRIOR TO SYSTEM DESIGN.
3. CONTRACTOR SHALL FIELD VERIFY AND INSPECT EXISTING IRRIGATION SYSTEM LAYOUT, EQUIPMENT, CONDITION AND OPERABILITY PRIOR TO SYSTEM DESIGN.
4. CONTRACTOR SHALL CONFIRM COMPLETE LIMITS OF IRRIGATION WITH LANDSCAPE ARCHITECT PRIOR TO SUPPLYING SHOP DRAWINGS.
5. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR INSPECTION AND APPROVAL OF AREAS RECEIVING DRIP IRRIGATION PRIOR TO INSTALLATION OF MULCH.
6. CONTRACTOR SHALL PROVIDE THE OWNER AND LANDSCAPE ARCHITECT WITH AS-BUILT DRAWINGS. DETAILED SYSTEM OPERATION INSTRUCTIONS AND AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND PLANTED MATERIAL GROWTH REQUIREMENTS.

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100%
CONSTRUCTION
DRAWINGS

GORMAN PARK

ST. PETER, MINNESOTA

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Name	Thomas Whitlock
Registration#	26292
Signature	Date 12/24/2024

100% CD SET	12/24/2024
DF/ Project #	22-150
Scale	PER SHEET
Drawn/Checked	AG / RP / JR / JM
REVISION	–

LANDSCAPE NOTES

G002

EXISTING TOPOGRAPHIC SYMBOLS

- ACCESS GRATE
- AIR CONDITION UNIT
- ANTENNA
- AUTO SPRINKLER CONNECTION
- BARRICADE PERMANENT
- BASKETBALL POST
- BENCH
- BIRD FEEDER
- BOLLARD
- BUSH
- CATCH BASIN RECTANGULAR CASTING
- CATCH BASIN CIRCULAR CASTING
- CURB STOP
- CLEAN OUT
- CULVERT END
- DRINKING FOUNTAIN
- DOWN SPOUT
- ELECTRIC CAR CHARGE STATION
- FILL PIPE
- FIRE HYDRANT
- FLAG POLE
- FLARED END / APRON
- FUEL PUMP
- GRILL
- GUY WIRE ANCHOR
- HANDHOLE
- HANDICAP SPACE
- IRRIGATION SPRINKLER HEAD
- IRRIGATION VALVE BOX
- LIFT STATION CONTROL PANEL
- LIFT STATION
- LIGHT POLE
- MAILBOX
- MANHOLE-COMMUNICATION
- MANHOLE-ELECTRIC
- MANHOLE-GAS
- MANHOLE-HEAT
- MANHOLE-RECLAIMED WATER
- MANHOLE-SANITARY SEWER
- MANHOLE-STORM SEWER
- MANHOLE-UTILITY
- MANHOLE-WATER
- METER
- DRIVE-THRU MICROPHONE
- PARKING METER
- PAVEMENT MARKING
- PEDESTAL-COMMUNICATION
- PEDESTAL-ELECTRIC
- PEDESTRIAN PUSH BUTTON
- PICNIC TABLE
- POLE-UTILITY
- POST
- RAILROAD SIGNAL POLE
- REGULATION STATION GAS
- SATELLITE DISH
- SIGN TRAFFIC
- SIGNAL CONTROL CABINET
- SOIL BORING
- SIREN
- TELEPHONE BOOTH
- TILE INLET
- TILE OUTLET
- TILE RISER
- TRANSFORMER-ELECTRIC
- TREE-CONIFEROUS
- TREE-DEAD
- TREE-DECIDUOUS
- TREE STUMP
- TRAFFIC ARM BARRIER
- TRAFFIC SIGNAL
- TRASH CAN
- UTILITY MARKER
- VALVE
- VALVE POST INDICATOR
- VALVE VAULT
- VAULT
- VENT PIPE
- WATER SPIGOT
- WELL
- WETLAND DELINEATED MARKER
- WETLAND
- WET WELL
- YARD HYDRANT

PROPOSED TOPOGRAPHIC SYMBOLS

- CLEANOUT
- MANHOLE
- LIFT STATION
- STORM SEWER CIRCULAR CASTING
- STORM SEWER RECTANGULAR CASTING
- STORM SEWER FLARED END / APRON
- STORM SEWER OUTLET STRUCTURE
- STORM SEWER OVERFLOW STRUCTURE
- CURB BOX
- FIRE HYDRANT
- WATER VALVE
- WATER REDUCER
- WATER BEND
- WATER TEE
- WATER CROSS
- WATER SLEEVE
- WATER CAP / PLUG
- RIP RAP
- DRAINAGE FLOW
- TRAFFIC SIGNS

SURVEY SYMBOLS

- BENCHMARK LOCATION
- CONTROL POINT
- MONUMENT FOUND
- CAST IRON MONUMENT
- STONE MONUMENT

EXISTING TOPOGRAPHIC LINES

- RETAINING WALL
- FENCE
- FENCE-DECORATIVE
- GUARD RAIL
- TREE LINE
- BUSH LINE

SURVEY LINES

- CONTROLLED ACCESS
- BOUNDARY
- CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING RIGHT-OF-WAY
- PROPOSED RIGHT-OF-WAY
- SETBACK LINE
- SECTION LINE
- QUARTER LINE
- SIXTEENTH LINE
- TEMPORARY EASEMENT

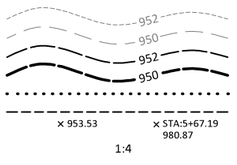
EXISTING UTILITY LINES

- FORCEMAIN
- SANITARY SEWER
- SANITARY SERVICE
- STORM SEWER
- STORM SEWER DRAIN TILE
- WATERMAIN
- WATER SERVICE
- RECLAIMED WATER

PROPOSED UTILITY LINES

- FORCEMAIN
- SANITARY SEWER
- SANITARY SERVICE
- STORM SEWER
- STORM SEWER DRAIN TILE
- WATERMAIN
- WATER SERVICE
- PIPE CASING
- TRENCHLESS PIPE (PLAN VIEW)
- TRENCHLESS PIPE (PROFILE VIEW)

GRADING INFORMATION



- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED GRADING LIMITS / SLOPE LIMITS
- PROJECT LIMITS
- PROPOSED SPOT ELEVATION
- RISE:RUN (SLOPE)

HATCH PATTERNS

- BITUMINOUS
- GRAVEL
- CONCRETE

EXISTING PRIVATE UTILITY LINES

NOTE:
EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY GOPHER STATE ONE CALL, 1-800-252-1166 OR 651-454-0002.

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D UNLESS OTHERWISE NOTED. THIS UTILITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-22, ENTITLED "STANDARD GUIDELINE FOR INVESTIGATING AND DOCUMENTING EXISTING UTILITIES".

- UNDERGROUND FIBER OPTIC
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- UNDERGROUND COMMUNICATION
- OVERHEAD ELECTRIC
- OVERHEAD COMMUNICATION
- OVERHEAD UTILITY

UTILITIES IDENTIFIED WITH A QUALITY LEVEL :

LINE TYPES FOLLOW THE FORMAT: UTILITY TYPE - QUALITY LEVEL
EXAMPLE: G-A G-A UNDERGROUND GAS, QUALITY LEVEL A
UTILITY QUALITY LEVEL (A,B,C,D) DEFINITIONS CAN BE FOUND IN CI/ASCE 38-22.

UTILITY QUALITY LEVELS:

QUALITY LEVEL D: PROVIDES THE MOST BASIC LEVEL OF INFORMATION. IT INVOLVES COLLECTING DATA FROM EXISTING UTILITY RECORDS. RECORDS MAY INCLUDE AS-BUILT DRAWINGS, DISTRIBUTION AND SERVICES MAPS, EXISTING GEOGRAPHIC INFORMATION SYSTEM DATABASES, CONSTRUCTION PLANS, ETC.

QUALITY LEVEL C: INVOLVES SURVEYING VISIBLE SUBSURFACE UTILITY STRUCTURES SUCH AS MANHOLES, HAND-HOLES, UTILITY VALVES AND METERS, FIRE HYDRANTS, PEDESTALS AND UTILITY MARKERS, AND THEN CORRELATING THE INFORMATION WITH EXISTING UTILITY RECORDS TO CREATE COMPOSITE DRAWINGS. INCLUDES QUALITY LEVEL D ACTIVITIES.

QUALITY LEVEL B: INVOLVES DESIGNATING THE HORIZONTAL POSITION OF SUBSURFACE UTILITIES THROUGH SURFACE DETECTION METHODS AND COLLECTING THE INFORMATION THROUGH A SURVEY METHOD. INCLUDES QUALITY LEVEL C AND D TASKS.

QUALITY LEVEL A: PROVIDES THE HIGHEST LEVEL OF ACCURACY. IT INVOLVES LOCATING OR POTHOLING UTILITIES AS WELL AS ACTIVITIES IN QUALITY LEVELS B, C, AND D. THE LOCATED FACILITY INFORMATION IS SURVEYED AND MAPPED AND THE DATA PROVIDES PRECISE PLAN AND PROFILE INFORMATION.

ABBREVIATIONS

A	ALGEBRAIC DIFFERENCE	GRAV	GRAVEL	RSC	RIGID STEEL CONDUIT
ADJ	ADJUST	GU	GUTTER	RT	RIGHT
ALT	ALTERNATE	GV	GATE VALVE	SAN	SANITARY SEWER
B-B	BACK TO BACK	HDPE	HIGH DENSITY POLYETHYLENE	SCH	SCHEDULE
BIT	BITUMINOUS	HH	HANDHOLE	SERV	SERVICE
BLDG	BUILDING	HP	HIGH POINT	SHLD	SHOULDER
BMP	BEST MANAGEMENT PRACTICE	HWL	HIGH WATER LEVEL	STA	STATION
BR	BEGIN RADIUS	HYD	HYDRANT	STD	STANDARD
BV	BUTTERFLY VALVE	I	INVERT	STM	STORM SEWER
CB	CATCH BASIN	K	CURVE COEFFICIENT	TC	TOP OF CURB
C&G	CURB AND GUTTER	L	LENGTH	TE	TEMPORARY EASEMENT
CIP	CAST IRON PIPE	LO	LOWEST OPENING	TEMP	TEMPORARY
CIPP	CURED-IN-PLACE PIPE	LP	LOW POINT	TNH	TOP NUT HYDRANT
CL	CENTER LINE	LT	LEFT	TP	TOP OF PIPE
CL.	CLASS	MAX	MAXIMUM	TYP	TYPICAL
CLVT	CULVERT	MH	MANHOLE	VCP	VITRIFIED CLAY PIPE
CMP	CORRUGATED METAL PIPE	MIN	MINIMUM	VERT	VERTICAL
C.O.	CHANGE ORDER	MR	MID RADIUS	VPC	VERTICAL POINT OF CURVE
COMM	COMMUNICATION	NIC	NOT IN CONTRACT	VPI	VERTICAL POINT OF INTERSECTION
CON	CONCRETE	NMC	NON-METALLIC CONDUIT	VPT	VERTICAL POINT OF TANGENT
CSP	CORRUGATED STEEL PIPE	NTS	NOT TO SCALE	WM	WATERMAIN
DIA	DIAMETER	NWL	NORMAL WATER LEVEL		
DIP	DUCTILE IRON PIPE	OHW	ORDINARY HIGH WATER LEVEL		
DWY	DRIVEWAY	PC	POINT OF CURVE	AC	ACRES
E	EXTERNAL CURVE DISTANCE	PCC	POINT OF COMPOUND CURVE	CF	CUBIC FEET
ELEC	ELECTRIC	PE	PERMANENT EASEMENT	CV	COMPACTED VOLUME
ELEV	ELEVATION	PED	PEDESTRIAN, PEDESTAL	CY	CUBIC YARD
EOF	EMERGENCY OVERFLOW	PERF	PERFORATED PIPE	EA	EACH
ER	END RADIUS	PERM	PERMANENT	EV	EXCAVATED VOLUME
ESMT	EASEMENT	PI	POINT OF INTERSECTION	LB	POUND
EX	EXISTING	PL	PROPERTY LINE	LF	LINEAR FEET
FES	FLARED END SECTION	PRC	POINT OF REVERSE CURVE	LS	LUMP SUM
F-F	FACE TO FACE	PT	POINT OF TANGENT	LV	LOOSE VOLUME
FF	FINISHED FLOOR	PVC	POLYVINYL CHLORIDE PIPE	SF	SQUARE FEET
F&I	FURNISH AND INSTALL	PVMT	PAVEMENT	SV	STOCKPILE VOLUME
FM	FORCEMAIN	R	RADIUS	SY	SQUARE YARD
FO	FIBER OPTIC	R/W	RIGHT-OF-WAY		
F.O.	FIELD ORDER	RCP	REINFORCED CONCRETE PIPE		
GRAN	GRANULAR	RET	RETAINING		

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100% CONSTRUCTION DRAWINGS

GORMAN PARK
PHASE 1

ST. PETER, MINNESOTA

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Name	Jeffrey A. Domras
Registration #	26464
	12/24/2024
JEFFREY A. DOMRAS	Date

100% CD SET	12/24/2024
BMI Project #	0M1.133927
DF/ Project #	22-150
Scale	PER SHEET
Designed	JAD/JPS
Drawn	JPS
Checked	JAD
REVISION	–

LEGEND

C001

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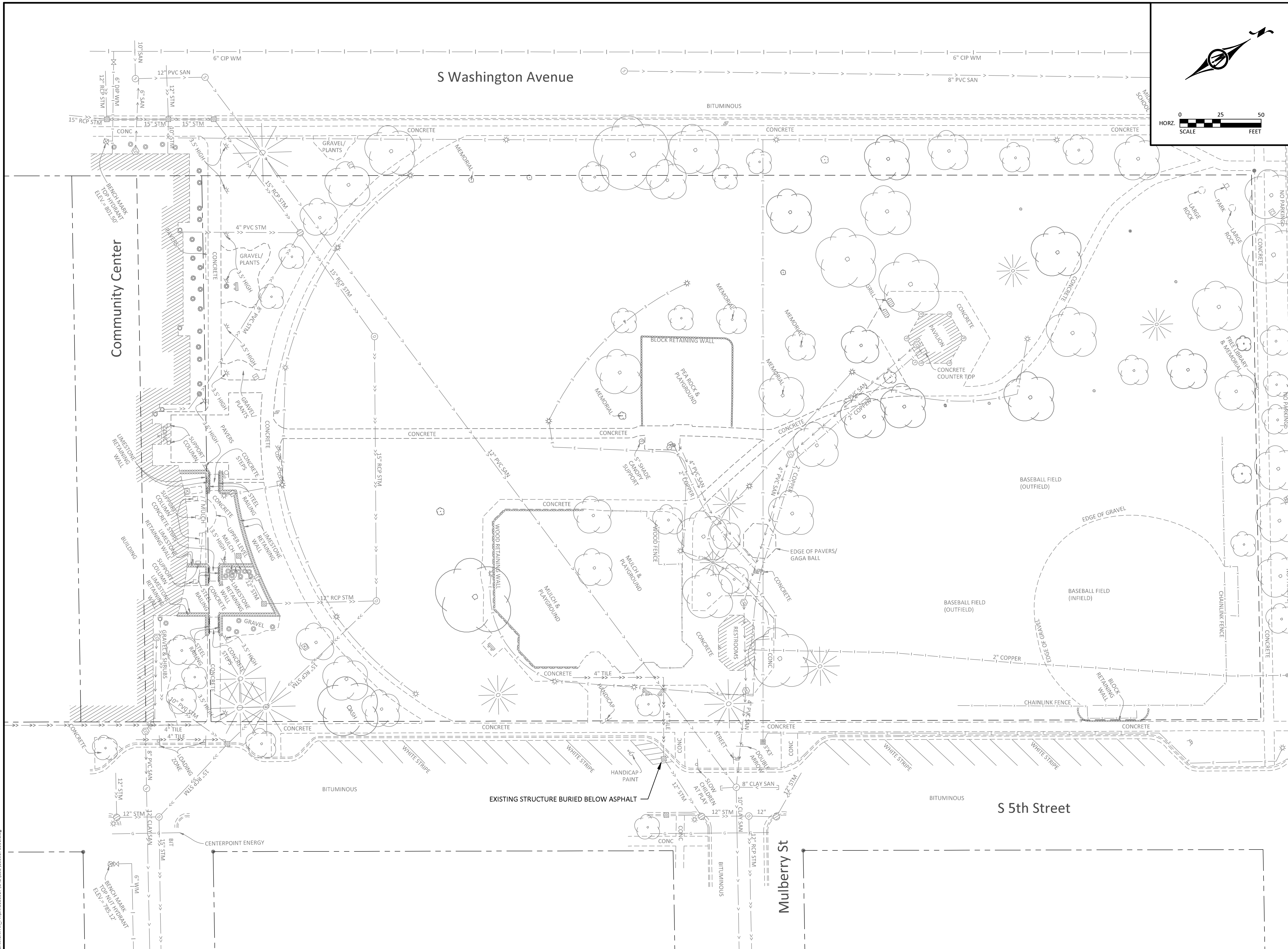

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DF/ Project #	22-150
Scale	PER SHEET
Designed	JAD/JPS
Drawn	JPS
Checked	JAD
REVISION	--

EXISTING CONDITIONS

C002

S Washington Avenue

Community Center

S 5th Street

Mulberry St

SALVAGE MEMORIAL TREE PLAQUE FOR CITY STAFF

REMOVE CANOPY SHADE SUPPORT

SALVAGE YARD HYDRANT & DRINKING FOUNTAIN FOR CITY STAFF. REMOVE CURB STOP & BOX.

SALVAGE GAGA BALL EQUIPMENT

EXISTING STRUCTURE BURIED BELOW ASPHALT

BASEBALL FIELD (OUTFIELD)

BASEBALL FIELD (INFIELD)

SALVAGE & REINSTALL SIGN

REMOVE TREE (SEE LANDSCAPE TREE PROTECTION PLAN)

REMOVE RETAINING WALL

REMOVE BENCH

REMOVE LIGHT POLE (SEE ELECTRICAL PLANS)

SAWCUT BITUMINOUS OR CONCRETE (INCIDENTAL)

REMOVE PLAYGROUND EQUIPMENT AND SURFACING (SEE ARCHITECTURAL PLANS)

REMOVE BUSH (SEE LANDSCAPE TREE PROTECTION PLAN)

REMOVE GRAVEL SURFACE/LANDSCAPING (SEE LANDSCAPE PLANS)

REMOVE CONCRETE WALK

REMOVE PAVERS

GENERAL NOTES:

- REMOVAL LIMITS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE IN THE FIELD AS DIRECTED BY THE ENGINEER.

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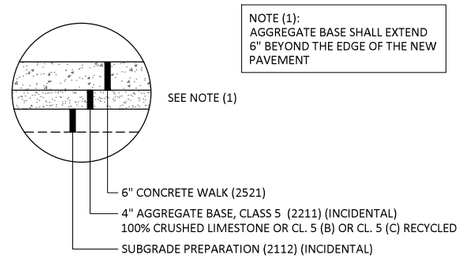
Name	Jeffrey A. Domras
Registration #	26464
	12/24/2024
	JEFFREY A. DOMRAS Date

100% CD SET	12/24/2024
BMI Project #	0M1.133927
DF/ Project #	22-150
Scale	PER SHEET
Designed	JAD/JPS
Drawn	JPS
Checked	JAD
REVISION	–

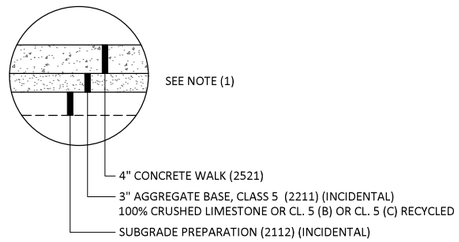
REMOVAL PLAN

C003



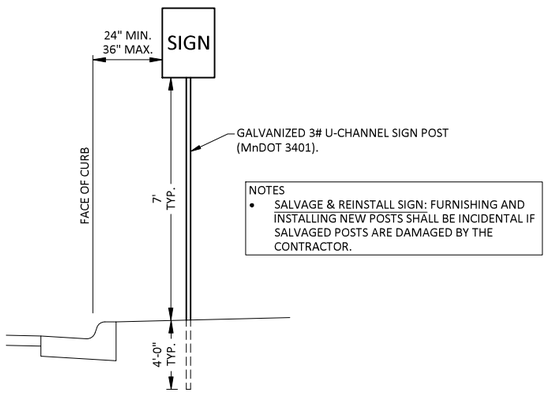
6" CONCRETE WALK

NOT TO SCALE



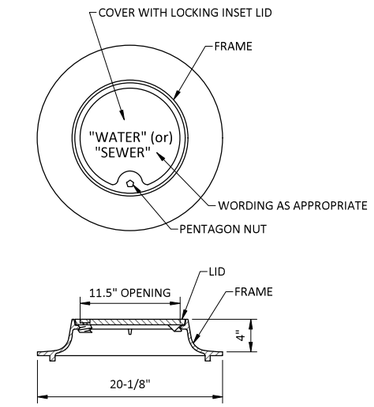
4" CONCRETE WALK

NOT TO SCALE



POST-MOUNTED SIGN INSTALLATION DETAIL

NOT TO SCALE



NOTES:
1. FURNISH AND INSTALL ON CURB STOPS AND CLEANOUTS THAT ARE WITHIN CONCRETE OR BITUMINOUS SURFACES.
2. CASTING ASSEMBLY TO BE FORD METER BOX MODEL A32 OR APPROVED EQUAL.

CASTING ASSEMBLY SPECIAL

NOT TO SCALE

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227 South Front Street
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NELSON-RUDIE & ASSOCIATES
9100 49TH AVE NORTH
MINNEAPOLIS, MN 55428
612.669.4385

100%
CONSTRUCTION
DRAWINGS

GORMAN PARK
PHASE 1

ST. PETER, MINNESOTA

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Registration #	26464
JEFFREY A. DOMRAS	12/24/2024 Date

100% CD SET	12/24/2024
BMI Project #	0M1.133927
DF/ Project #	22-150
Scale	PER SHEET
Designed	JAD/JPS
Drawn	JPS
Checked	JAD
REVISION	–

TYPICAL SECTIONS & DETAILS
CIVIL SURFACING DETAILS

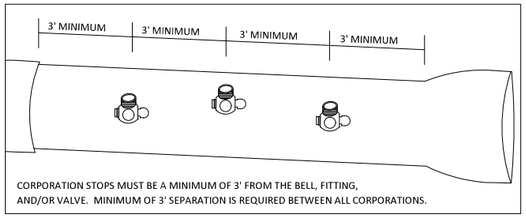
C101

NOTE: WHERE NO EXISTING WATER SERVICE IS INPLACE, EXTEND PAST PROPERTY LINE 12' AND CRIMP END OF COPPER.

CORPORATION STOPS, CURB STOPS & RELATED FITTINGS SHALL BE CAST BRASS WITH COMPRESSION FITTINGS

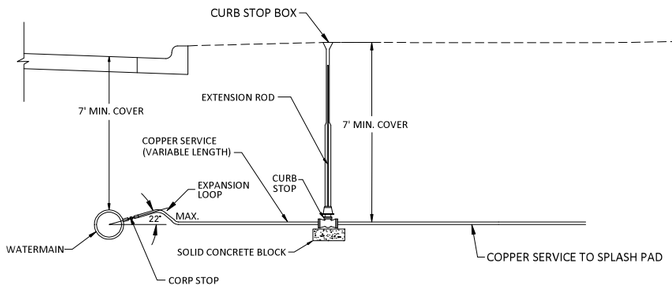
EXTENSION ROD SHALL EXTEND WITHIN 12" OF GROUND SURFACE

NO COUPLINGS ALLOWED BETWEEN WATERMAIN AND CURB STOP AND FROM THE CURB STOP TO THE STUBBED CRIMPED END OF THE COPPER (UNLESS DIRECTED OTHERWISE BY THE CITY).

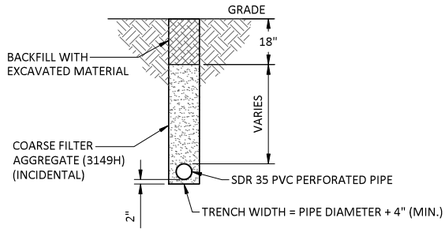


CORPORATION STOPS MUST BE A MINIMUM OF 3' FROM THE BELL, FITTING, AND/OR VALVE. MINIMUM OF 3' SEPARATION IS REQUIRED BETWEEN ALL CORPORATIONS.

** NOTE:
AN A-32 FORD WATER COVER IS REQUIRED WHEN THE CURB STOP BOX IS LOCATED IN A CONCRETE OR BITUMINOUS SURFACE.



WATER SERVICE DETAIL
NOT TO SCALE



STORM TILE PIPE
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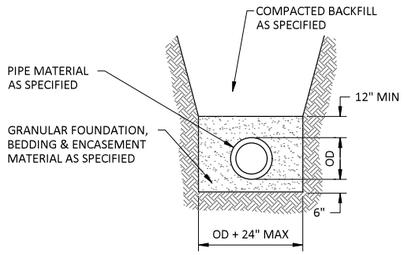

NON-RIGID STORM SEWER TRENCH
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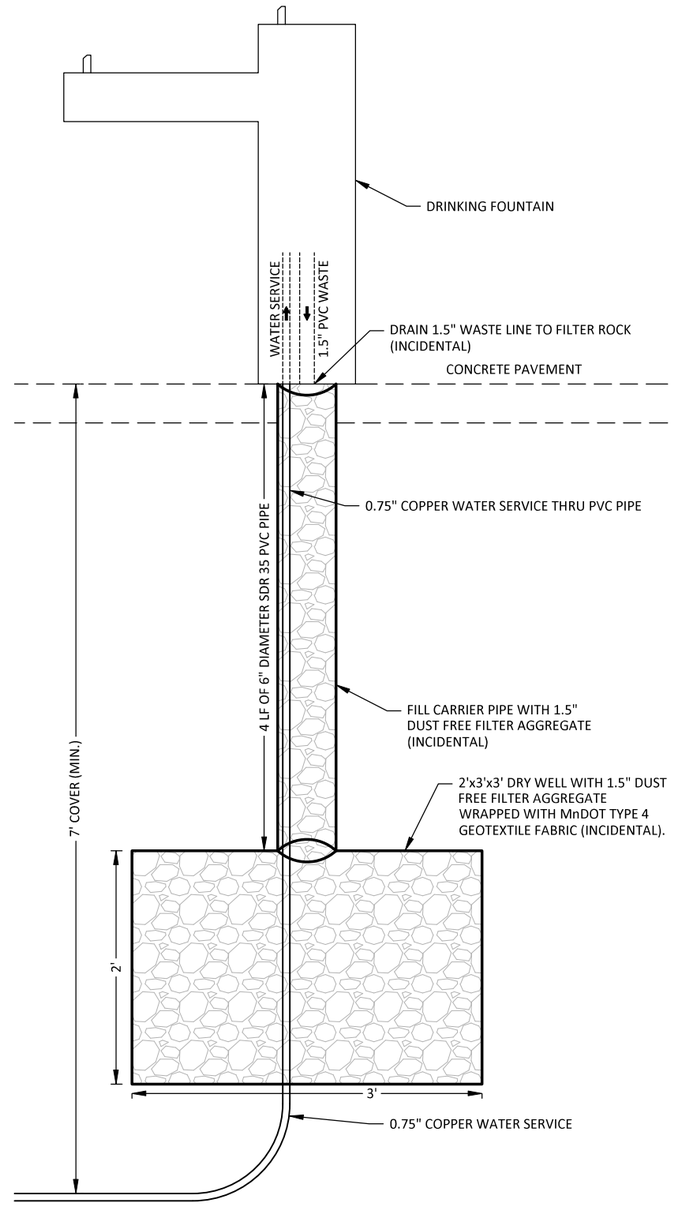

WATER SERVICE AND DRY WELL FOR DRINKING FOUNTAIN
NOT TO SCALE

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100% CONSTRUCTION DRAWINGS

GORMAN PARK
PHASE 1

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JEFFREY A. DOMRAS	12/24/2024 Date

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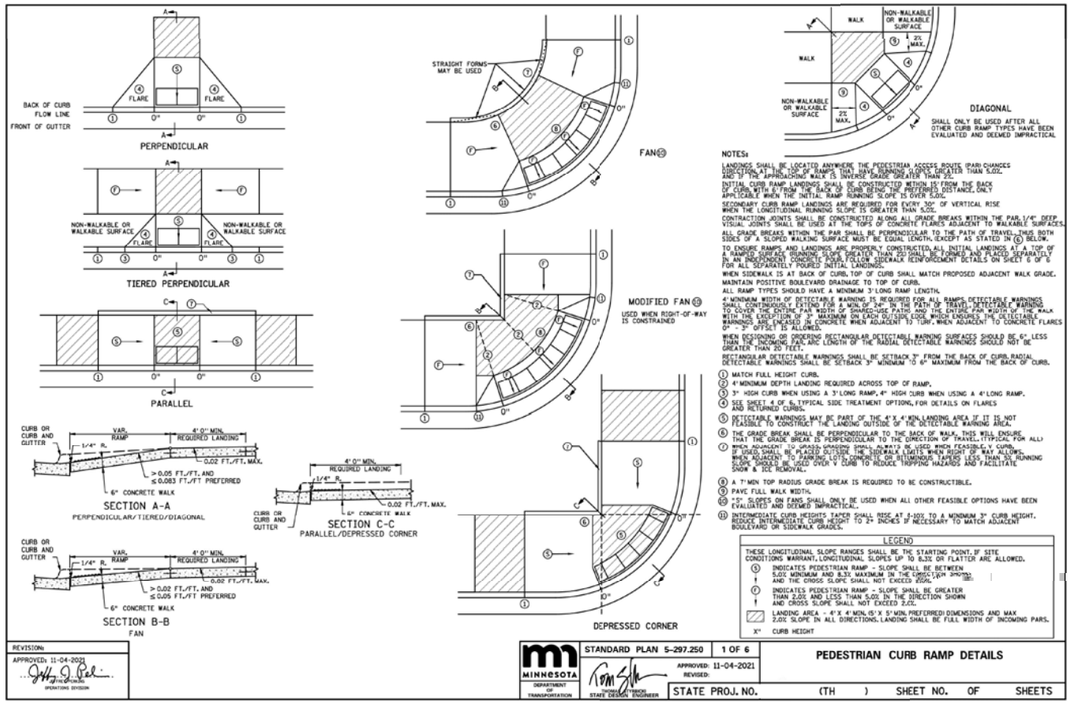
DF/ Project #	22-150
Scale	PER SHEET
Designed	JAD/JPS
Drawn	JPS
Checked	JAD
REVISION	–

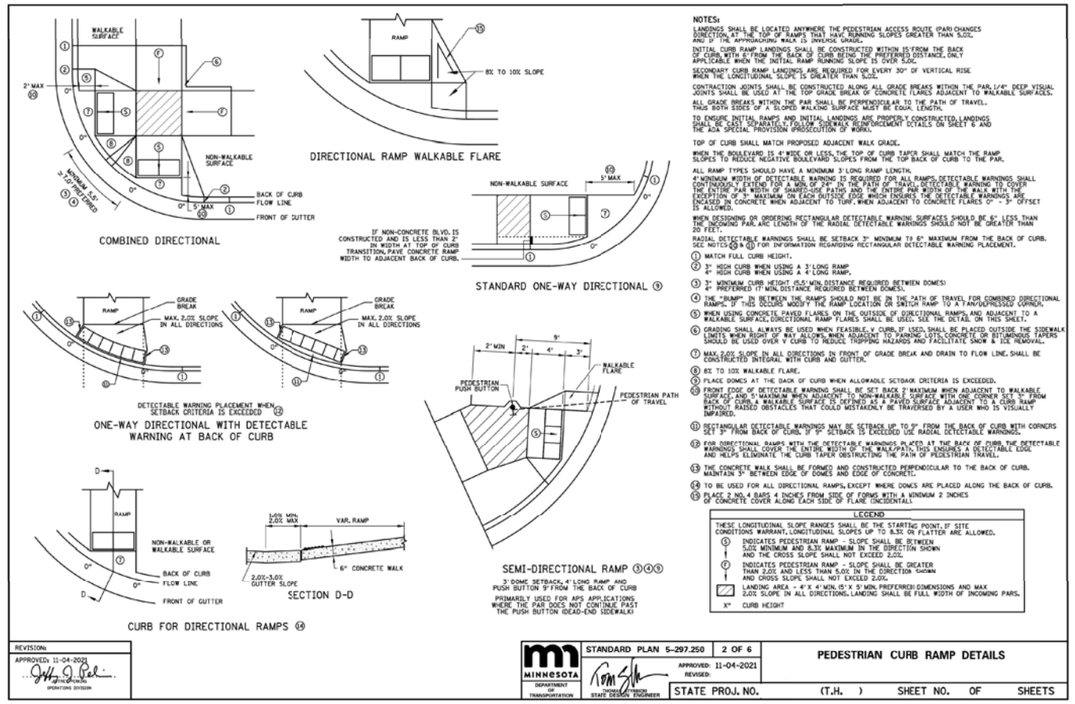
TYPICAL SECTIONS & DETAILS
CIVIL UTILITY DETAILS

C102



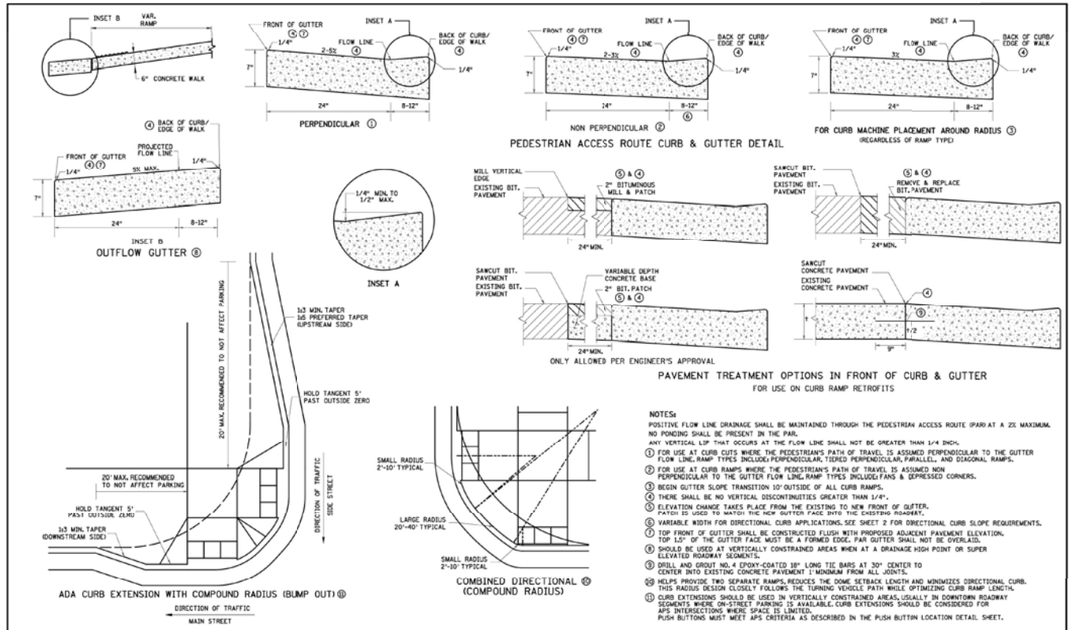
REVISIONS
APPROVED: 11-04-2021

STANDARD PLAN 5-297.250 | 1 OF 6
APPROVED: 11-04-2021
REVISED:
PEDESTRIAN CURB RAMP DETAILS
STATE PROJ. NO. (TH) SHEET NO. OF SHEETS



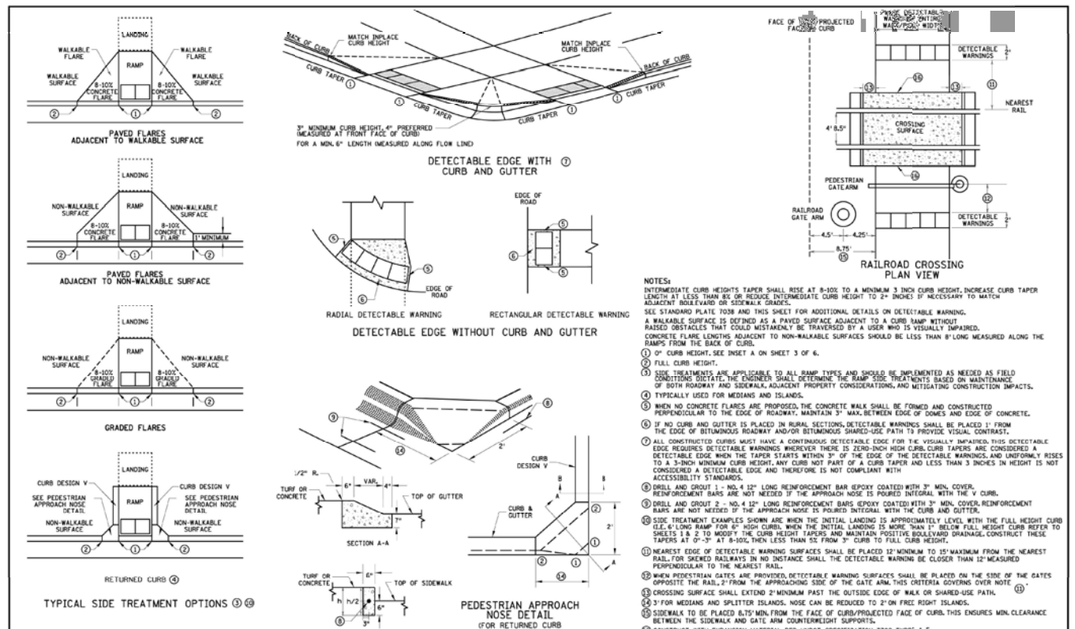
REVISIONS
APPROVED: 11-04-2021

STANDARD PLAN 5-297.250 | 2 OF 6
APPROVED: 11-04-2021
REVISED:
PEDESTRIAN CURB RAMP DETAILS
STATE PROJ. NO. (T.H.) SHEET NO. OF SHEETS



REVISIONS
APPROVED: 11-04-2021

STANDARD PLAN 5-297.250 | 3 OF 6
APPROVED: 11-04-2021
REVISED:
PEDESTRIAN CURB RAMP DETAILS
STATE PROJ. NO. (TH) SHEET NO. OF SHEETS



REVISIONS
APPROVED: 11-04-2021

STANDARD PLAN 5-297.250 | 4 OF 6
APPROVED: 11-04-2021
REVISED:
PEDESTRIAN CURB RAMP DETAILS
STATE PROJ. NO. (TH) SHEET NO. OF SHEETS

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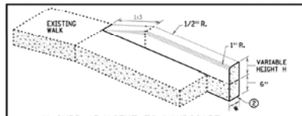
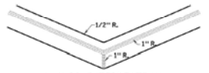
DF/ Project #	22-150
Scale	PER SHEET
REVISION	–

MNDOT
STANDARD
PLANS

C105

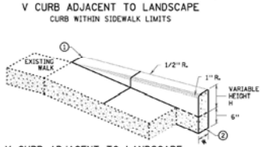


V CURB ADJACENT TO LANDSCAPE
CURB WITHIN SIDEWALK LIMITS

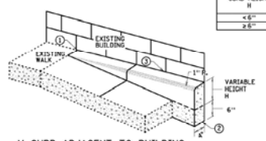


V CURB INTERSECTION

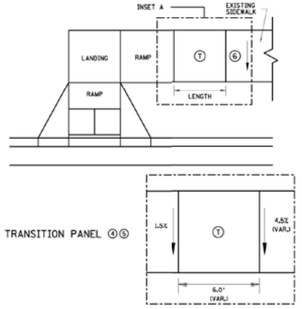
CONCRETE CURB DESIGN V	
CURB HEIGHT H	CURB WIDTH W
<6"	4"
≥6"	6"

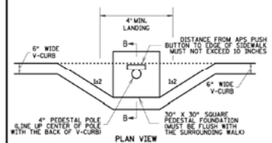


V CURB ADJACENT TO LANDSCAPE
CURB OUTSIDE SIDEWALK LIMITS

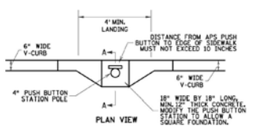


V CURB ADJACENT TO BUILDING OR BARRIER

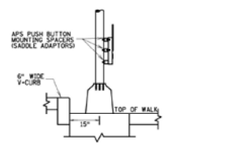




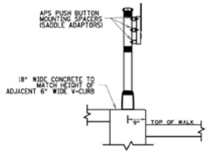
PLAN VIEW



PLAN VIEW



SECTION B-B
SIGNAL PEDESTAL & PUSH BUTTON (V-CURB)



SECTION A-A
PUSH BUTTON STATION (V-CURB)

NOTES:

A WALKABLE FLARE IS AN 8-10% CONCRETE FLARE THAT IS REQUIRED WHEN THE FLARE IS ADJACENT TO A WALKABLE SURFACE, AND WHEN THE PEDESTRIAN PATH OF TRAVEL OF A PUSH BUTTON TRAVERSES THE FLARE.

ALL V CURB CONTRACTION JOINTS SHALL MATCH CONCRETE WALK JOINTS.

WHERE RIGHT-OF-WAY ALLOWS, USE OF V CURB SHOULD BE MINIMIZED. GRADING ADJACENT TURF OR SLOPING ADJACENT PAVEMENT IS PREFERRED.

V CURB SHALL BE PLACED OUTSIDE THE SIDEWALK LIMITS WHEN RIGHT OF WAY ALLOWS.

V CURB NEXT TO BUILDING SHALL BE A 4" WIDTH AND SHALL MATCH PREVIOUS TOP OF SIDEWALK ELEVATIONS.

① END TAPERS AT TRANSITION SECTION SHALL MATCH INPLACE SIDEWALK GRADES.

② ALL V CURB SHALL MATCH BOTTOM OF ADJACENT WALK.

③ CONSTRUCT USING APPROVED EXPANSION MATERIAL PER MNDOT TYPE A-E EXPANSION. LEAVE A MINIMUM ½" TOP GAP AND SEAL WITH MNDOT APPROVED SILICONE PER MNDOT SPEC 3720.

④ THE MAX. RATE OF CROSS SLOPE TRANSITIONING IS 1' LINEAR FOOT OF SIDEWALK PER HALF PERCENT CROSS SLOPE. WHEN PAR WIDTH IS GREATER THAN 6' ON THE RUNNING SLOPE IS GREATER THAN 5%, DOUBLE THE CALCULATED TRANSITION LENGTH.

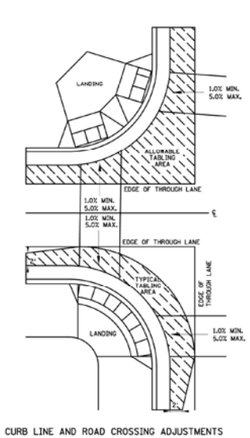
⑤ TRANSITION PANELS ARE TO ONLY BE USED AFTER THE RAMP, OR IF NEEDED, LANDING ARE AT THE FULL CURB HEIGHT OF TYPICAL SECTIONS.

Ⓔ EXISTING CROSS SLOPE GREATER THAN 2.0%.

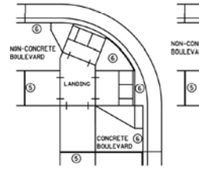
LEGEND	
①	INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 5.0% MINIMUM AND 8.3% MAXIMUM IN THE DIRECTION SHOWN AND THE CROSS SLOPE SHALL NOT EXCEED 2.0%.
	LANDING AREA - 4'-5' X 4'-MIN. (5' X 5' MIN. PREFERRED) DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS. LANDING SHALL BE FULL WIDTH OF INCOMING PARS.
⑤	TRANSITION PANELS - TO BE USED FOR TRANSITIONING THE CROSS-SLOPE OF A RAMP TO THE EXISTING WALK CROSS-SLOPE. RATE OF TRANSITION SHOULD BE 0.5% PER 1 LINEAR FOOT OF WALK. SEE THIS SHEET FOR ADDITIONAL INFORMATION.

REVISIONS
APPROVED: 11-04-2021
OPERATIONS DIVISION

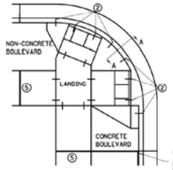
MINNESOTA DEPARTMENT OF TRANSPORTATION	STANDARD PLAN 5-297.250	5 OF 6	PEDESTRIAN CURB RAMP DETAILS
STATE DESIGN ENGINEER	APPROVED: 11-04-2021 REVISED:	STATE PROJ. NO.	(TH) SHEET NO. OF SHEETS



CURB LINE AND ROAD CROSSING ADJUSTMENTS

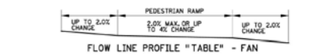


EXPANSION MATERIAL PLACEMENT FOR CONCRETE ROADWAYS

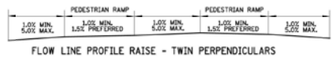


CURB LINE REINFORCEMENT ④ PLACEMENT ON BITUMINOUS ROADWAYS

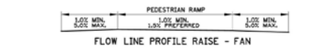
FLOW LINE PROFILE "TABLE" - TWIN PERPENDICULARS



FLOW LINE PROFILE "TABLE" - FAN



FLOW LINE PROFILE RAISE - TWIN PERPENDICULARS



FLOW LINE PROFILE RAISE - FAN

GENERAL NOTES:

"TABLING" OF CROSSWALKS MEANS MAINTAINING LESS THAN 2% CROSS SLOPE WITHIN A CROSSWALK, IS REQUIRED WHEN A ROADWAY IS IN A STOP OR YIELD CONDITION AND THE PROJECT SCOPE ALLOWS.

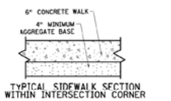
RECONSTRUCTION PROJECTS ON FULL PAVEMENT REPLACEMENT PROJECTS "TABLING" OF ENTIRE CROSSWALK SHALL OCCUR WHEN FEASIBLE.

MILL & OVERLAY PROJECTS: "TABLING" OF FLOW LINES, IN FRONT OF THE PEDESTRIAN RAMP, IS REQUIRED WHEN THE EXISTING FLOW LINE IS GREATER THAN 2%. WARPING OF THE BITUMINOUS PAVEMENT CAN NOT EXTEND INTO THE THROUGH LANE. TABLE THE FLOW LINE TO 2% OR AS MUCH AS POSSIBLE WHILE ADHERING TO THE FOLLOWING CRITERIA:
1) 1.0% MIN. CROSS-SLOPE OF THE ROAD
2) 5.0% MAX. CROSS-SLOPE OF THE ROAD
3) "TABLE" FLOW LINE UP TO 4% CHANGE FROM EXISTING SLOPE IN FRONT OF PEDESTRIAN RAMP
4) UP TO 2% CHANGE IN FLOW LINE FROM EXISTING SLOPE BEYOND THE PEDESTRIAN CURB RAMP

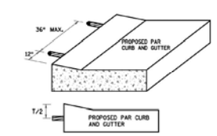
STAND-ALONE ADA RETROFITS: FOLLOW MILL & OVERLAY CRITERIA ABOVE HOWEVER ALL PAVEMENT WARPING IS DONE WITH BITUMINOUS PATCHING ON BITUMINOUS ROADWAYS AND FULL-DEPTH APRON REPLACEMENT ON CONCRETE ROADWAYS.

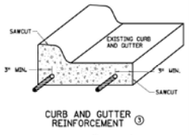
RAISING OF CURB LINES SHOULD OCCUR IN VERTICALLY CONSTRAINED AREAS. RAISE THE CURB LINES ENOUGH TO ALLOW COMPLIANT RAMPS OR AS MUCH AS POSSIBLE WHILE ADHERING TO THE FOLLOWING CRITERIA:
1) 1.0% MIN. AND 5.0% MAXIMUM CROSS-SLOPE OF THE ROAD
2) 1.0% MIN. FLOW LINE ON EITHER SIDE OF PEDESTRIAN RAMP TO MAINTAIN POSITIVE DRAINAGE
3) 5.0% RECOMMENDED MAX. FLOW LINE
4) LONGITUDINAL THROUGH LANE ROADWAY TAPERS SHOULD BE 1" VERTICAL PER 15' HORIZONTAL

SECTION VIEW A-A
THICKENED SECTION THROUGH CURB RAMP FLARES



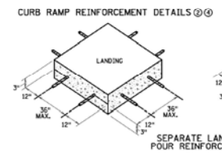
TYPICAL SIDEWALK SECTION WITHIN INTERSECTION CORNER

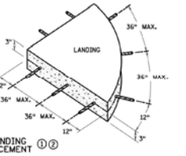




CURB AND GUTTER REINFORCEMENT ③

CURB RAMP REINFORCEMENT DETAILS ②④





SEPARATE LANDING POUR REINFORCEMENT ①②

NOTES:

① TO ENSURE RAMPS AND LANDINGS ARE PROPERLY CONSTRUCTED, ALL INITIAL LANDINGS AT A TOP OF A RAMPED SURFACE (RUNNING SLOPE GREATER THAN 2%) SHALL BE FORMED AND PLACED SEPARATELY IN AN INDEPENDENT CONCRETE POUR. FOLLOW SIDEWALK REINFORCEMENT DETAILS ON THIS SHEET FOR ALL SEPARATELY POURED INITIAL LANDINGS.

② DRILL AND GROUT NO.4 12" LONG REINFORCEMENT BARS (EPOXY COATED) AT 36" MAXIMUM CENTER TO CENTER MINIMUM 12" SPACING FROM CONSTRUCTION JOINTS. BARS TO BE ADJUSTED TO MATCH RAMP GRADE. BARS TO BE PAID BY EACH.

③ DRILL AND GROUT 2 - NO. 4 X 12" LONG 16" EMBEDDED REINFORCEMENT BARS (EPOXY COATED). REINFORCEMENT REQUIRED FOR ALL CONSTRUCTION JOINTS. BARS TO BE PAID BY EACH.

④ THIS CURB LINE REINFORCEMENT DETAIL SHALL BE USED ON BITUMINOUS ROADWAYS. FOR CONCRETE ROADWAYS, SEE NOTE 6.

⑤ CONSTRUCT WITH EXPANSION MATERIAL PER MNDOT SPECIFICATION 3702 TYPES A-E. EXPANSION MATERIAL SHALL MATCH FULL HEIGHT OF ADJACENT CONCRETE.

⑥ USE AN APPROVED TYPE F 1/4 INCH THICK) SEPARATION MATERIAL. SEPARATION MATERIAL SHALL MATCH FULL HEIGHT DIMENSION OF ADJACENT CONCRETE.

REVISIONS
APPROVED: 11-04-2021
OPERATIONS DIVISION

MINNESOTA DEPARTMENT OF TRANSPORTATION	STANDARD PLAN 5-297.250	6 OF 6	PEDESTRIAN CURB RAMP DETAILS
STATE DESIGN ENGINEER	APPROVED: 11-04-2021 REVISED:	STATE PROJ. NO.	(TH) SHEET NO. OF SHEETS

CITY OF SAINT PETER
227 South Front Street
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p: 507.934.4840

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NELSON-RUDIE & ASSOCIATES
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MINNEAPOLIS, MN 55428
612.669.4385

100% CONSTRUCTION DRAWINGS

GORMAN PARK
PHASE 1

ST. PETER, MINNESOTA

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Name: Jeffrey A. Domras
Registration #: 26464

100% CD SET: 12/24/2024
BMI Project #: 0M1.133927
DF/ Project #: 22-150
Scale: PER SHEET

REVISION: --

MNDOT STANDARD PLANS

C106

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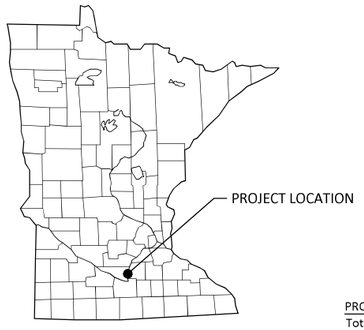
STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

2025-2026 GORMAN PARK IMPROVEMENTS

CITY OF SAINT PETER
NICOLLET COUNTY, MINNESOTA



LEGEND

- 1-MILE BOUNDARY
- PROJECT BOUNDARY
- IMPAIRED, SPECIAL OR PROTECTED WATERS
- NATIONAL WETLANDS INVENTORY
- RECEIVING WATERS
- DWSMA BOUNDRY, HIGH VULNERABILITY

RESPONSIBLE PARTIES:
The Contractor and Owner will be joint applicants under the MPCA's General Stormwater Permit for Construction Activity as required by the National Pollutant Discharge Elimination System (NPDES) Phase II program.

The Contractor shall provide one or more trained Construction SWPPP Manager(s) knowledgeable and experienced in the application of erosion prevention and sediment control BMPs that will oversee the implementation of the SWPPP, and the installation, inspection and maintenance of the erosion prevention and sediment control BMPs.

A Construction SWPPP Manager must be available for an on-site inspection within 72 hours upon request by the MPCA.

	COMPANY	CONTACT PERSON	PHONE
OWNER:	City of Saint Peter	Pete Moulton	507-934-0670
SWPPP DESIGNER:	Bolton & Menk, Inc.	Joseph Smith, P.E.	507-625-4171
CONTRACTOR:	TBD	TBD	TBD
CONSTRUCTION SWPPP MANAGER:	TBD	TBD	TBD
PARTY RESPONSIBLE FOR LONG TERM O&M:	City of Saint Peter	Pete Moulton	507-934-0670

The SWPPP Designer, Construction SWPPP Manager, and BMP Installer must have appropriate training. Documentation showing training commensurate with the job duties and responsibilities is required to be included in the SWPPP prior to any work beginning on the site. Training documentation for the SWPPP Designer is included on the Narrative sheet. The Contractor shall attach training documentation to this SWPPP for the Construction SWPPP Manager and BMP Installer prior to the start of construction. This information shall be kept up to date until the project NOT is filed.

ADDITIONAL COMPENSATION
Payment for all work associated with Erosion and Sediment Control shall be as described in the Project Manual. Unless otherwise authorized by the Owner no additional payment shall be made for any work required to administer and maintain the site erosion and sediment control in compliance with the Minnesota Pollution Control Agency (MPCA) - General Stormwater Permit for Construction Activity (MN R100001) including but not limited to inspection, maintenance, and removal of BMPs or addition of BMPs to accommodate Contractor phasing.

DOCUMENT RETENTION
Permittees must make the SWPPP, including all inspection reports, maintenance records, training records and other information required by this permit, available to federal, state, and local officials within three (3) days upon request for the duration of the permit and for three (3) years following the NOT.

GENERAL STORMWATER DISCHARGE REQUIREMENTS
All requirements listed in Section 5.1 of the Permit for the design of the permanent stormwater management system and discharge have been included in the preparation of this SWPPP. These include but are not limited to:

1. The expected amount, frequency, intensity, and duration of precipitation.
2. The nature of stormwater runoff and run-on at the site
3. Peak flow rates and stormwater volumes to minimize erosion at outlets and downstream channel and stream bank erosion.
4. The range of soil particle sizes expected to be present on the site.

Permanent stormwater treatment systems for this project have been designed in accordance with the guidance in the MN Stormwater Manual in place at the time of bidding. Copies of the design information and calculations are part of this SWPPP and will be provided in digital format upon written request to the Engineer.

PROJECT AREAS:

Total Project Size (disturbed area) =	2.42	ACRES
Existing area of impervious surface =	0.31	ACRES
Post construction area of impervious surface =	0.60	ACRES
Total new impervious surface area created =	0.29	ACRES

Planned Construction Start Date:	5/5/2025
Estimated Construction Completion Date:	10/30/2026

PERMANENT STORMWATER MANAGEMENT SYSTEM:
Type of storm water management used if more than 1 acre of new impervious surface is created:

	Wet Sedimentation Basin
	Infiltration/Filtration
	Regional Pond
X	Permanent Stormwater Management Not Required

(<1 acre of impervious areas created)

PROJECT LOCATION:

COUNTY	TOWNSHIP	RANGE	SECTION	LATITUDE	LONGITUDE
Nicollet	T110N	R26W	21	44.32434°	-93.96355°

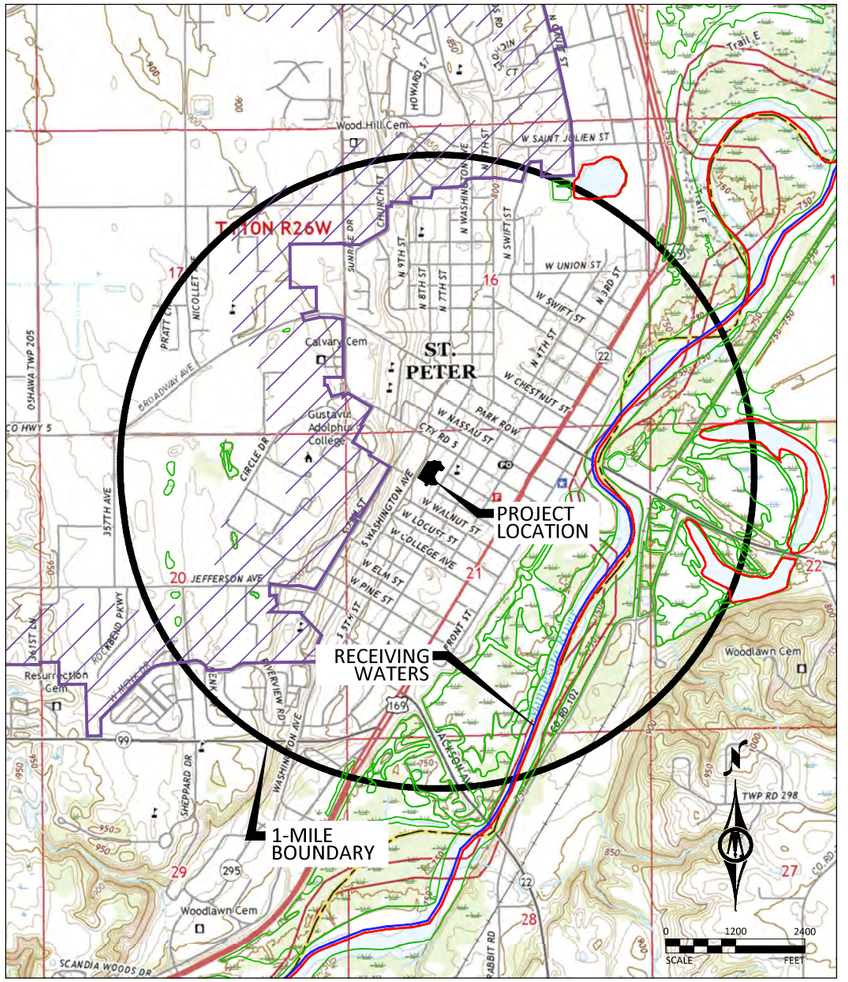
BMP SUMMARY	QUANTITY	UNIT
Stabilized Construction Exit	1	Lump Sum
Storm Drain Inlet Protection	5	Each
Perimeter Control	800	Lin Ft
Erosion Control Blanket	600	Sq Yd

DESCRIPTION OF CONSTRUCTION ACTIVITIES AND STORMWATER MANAGEMENT:
Construction activities include: Site grading, aggregate base, ADA improvements, concrete walk, storm sewer, water service, playground equipment, turf establishment, and temporary erosion and sediment control.

Stormwater in the are of the project is currently conveyed via grassy hills and shallow grassy swales. The grassy areas flow onto S 5th Street where stormwater enters the municipal storm sewer pipe networks. These pipe networks flow east and ultimately discharge to the Minnesota River.

After construction is complete stormwater drainage patterns will remain substantially uncharged.

Future improvements within Gorman Park include rain garden construction on the low area of the site to manage rate control and provide stormwater treatment prior to discharging to the municipal storm sewer pipe networks. These future improvements are intended to be constructed with the demolition of the existing Treemendous Playground, which is planned to occur in the near future.



RECEIVING WATERS:
Receiving waters, including surface water, wetlands, Public Waters, and stormwater ponds, within 1-mile of the project boundary are identified on the USGS 7.5 min quad map above. Receiving waters that are impaired, the impairment, and WLA are listed as follows. All specific BMPs relative to construction activities listed in the permit for special, prohibited, restricted, or impaired have been incorporated into this plan. All specific BMPs listed in approved TMDLs and those BMPs listed for construction related waste load allocations have also been incorporated.

NAME OF WATER BODY	TYPE (ditch, pond, wetland, lake, etc.)	Special, Prohibited, Restricted Water [1]	Flows to Impaired Water Within 1-Mile [2]	USEPA Approved Construction Related TMDL [3]
Minnesota River	River	No	Yes	Yes

[1] Special, prohibited, and restricted waters are listed in Section 23 of the MN Construction Stormwater General Permit (MNR100001).
[2] Identified as impaired under section 303 (d) of the federal Clean Water Act for phosphorus, turbidity, TSS, dissolved oxygen, and/or aquatic biota.
[3] Construction Related TMDLs include those related to: phosphorus, turbidity, TSS, dissolved oxygen, and/or aquatic biota.

IMPLEMENTATION SCHEDULE AND PHASING: The Contractor is required to provide an updated schedule and site management plan meeting the minimum requirements of Section 1717 of the Minnesota Standard Specifications for Construction.

1) Submit SWPPP Updates to Engineer. Submittal shall include any requested changes to the SWPPP, including but not limited to: Trained Personnel, Locations for Stockpiles, Concrete Washout, Sanitation Facilities, Types and Locations of Erosion & Sediment Control. Failure to submit updates shall be considered acceptance of the SWPPP as designed with no changes.
2) Install perimeter sediment control, inlet protection, and construction exit.
3) Perform topsoil stripping, pavement removals, and other surface removals.
4) Construct underground utilities (watermain and storm sewer).
5) Furnish and install rapid stabilization measures as needed at areas directly upstream of inlets.
6) Construct subgrade preparation and aggregate bases.
7) Construct curb & gutter, sidewalks, and bituminous pavement.
8) Place salvaged topsoil as needed and perform temporary and/or permanent seeding on disturbed areas.
9) Add additional temporary BMPs as necessary during construction based on inspection reports.
10) Ensure final stabilization measures are complete.
11) Provide digital copy of all Field SWPPP Documentation including Inspection Reports and SWPPP Revisions to the Owner.
12) Submit Notice of Termination (NOT) to MPCA. NOTE: The NOT must be submitted to MPCA before Final Stabilization is considered complete.

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100% CONSTRUCTION DRAWINGS

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Name	Jeffrey A. Domras
Registration #	26464
	12/24/2024
JEFFREY A. DOMRAS	Date

100% CD SET	12/24/2024
BMI Project #	0M1.133927
DF/ Project #	22-150
Scale	PER SHEET
Designed	JAD/JPS
Drawn	JPS
Checked	JAD
REVISION	–

STORMWATER POLLUTION PREVENTION PLAN
PROJECT INFORMATION AND LOCATION MAP

C201

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Information contained in this SWPPP narrative sheet summarizes requirements of the GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM/STATE DISPOSAL SYSTEM PROGRAM - Permit No: MN RI0000I (Permit) as they apply to this project. All provisions of the Permit including those not specifically cited herein shall apply to this project. The Contractor is responsible to be familiar with and comply with all conditions of the permit. The full text of the Permit is available at: https://www.pca.state.mn.us/sites/default/files/wq-strm2-80a.pdf

SWPPP AMENDMENTS AND SUBMITTALS

Contractor must prepare and submit to the Engineer a SWPPP amendment as necessary to include additional Best Management Practices (BMPs) to correct problems identified or address the following situations.

1. Contact information and training documentation for Construction SWPPP Manager and BMP Installer,
2. There is a change in construction method of phasing, operation, maintenance, weather or seasonal conditions not anticipated during the design of the SWPPP including but not limited to:
   a. Types and/or Locations of BMPs
   b. Material Storage and Spill Response
   c. Fueling Plans
   d. Locations for Stockpiles, Concrete Washout, and Sanitation Facilities and
   e. Project Phasing
3. It is determined that the SWPPP is not achieving objectives of minimizing pollutants in stormwater discharges associated with construction activity, or
4. The SWPPP is not consistent with the terms and conditions of the permit.

The Contractor may implement SWPPP amendments immediately and is not required to wait for Engineer review of the submittal. The responsibility for completeness of SWPPP amendments and compliance with the Permit lies with the Contractor. Review, comment, or lack of comment by the Engineer on a SWPPP amendment shall not absolve the responsibilities of the Contractor in any way.

If a change order is issued for a design change the SWPPP amendment will be prepared by the Engineer and included in the change order.

In addition to SWPPP amendments, the Contractor shall submit to the Engineer Weekly Erosion and Sediment Control Schedule meeting the requirements of MnDOT 1717.

The Contractor shall keep copies of all SWPPP amendments, Weekly Erosion and Sediment Control Schedules, inspection logs, and maintenance logs with the field copy of the SWPPP. A PDF copy of these documents will be provided along with a copy of the final Field Copy of the SWPPP to the Engineer along with the signed Notice of Termination when final stabilization is complete.

EROSION PREVENTION PRACTICES

Stormwater conveyance channels shall be routed around unstabilized areas. Erosion controls and velocity dissipation devices shall be used at outlets within and along the length of any constructed conveyance channel.

The normal wetted perimeter of all ditches or swales, including storm water management pond slopes, that drain waters from the site must be stabilized within 200' of any property edge or discharge point, including storm sewer inlets, within 24 hours of connection.

Temporary or permanent ditches or swales used as sediment containment during construction do not need to be stabilized during temporary period of use and shall be stabilized within 24 hours after no longer used as sediment containment.

Mulch, hydromulch, tackifier, or similar practice shall not be used in any portion of the wetted perimeter of a temporary or permanent drainage ditch or swale section with a continuous slope of greater than 2 percent.

Energy dissipation shall be installed at all temporary or permanent pipe outlets within 24 hours of connection to a surface water or permanent stormwater treatment system.

The Contractor shall phase construction and use construction methods to the extent practical to minimize exposed soils. The project phasing shall be documented in the Weekly Erosion and Sediment Control Schedule.

SEDIMENT CONTROL PRACTICES

Down gradient BMPs including perimeter BMPs must be in place before up gradient land- disturbing activities begin and shall remain in place until final stabilization.

All BMPs that have been adjusted or removed to accommodate short-term activities shall be re-installed or replaced the earlier of the end of the work day or before the next precipitation event even if the activity is not complete.

Inlet BMPs may be removed for specific safety concerns. The BMPs shall be replaced as soon as the safety concern is resolved. The removal shall be documented in the SWPPP as a SWPPP amendment.

Temporary stockpiles must have sediment control BMPs. The Contractor shall prepare and submit to the Engineer a SWPPP amendment showing the location of temporary stockpiles and the BMPs for each stockpile. The SWPPP amendment must meet the minimum requirements of Section 9 of the Permit.

Soil compaction shall be minimized and topsoil shall be preserved, unless infeasible or if construction activities dictate soil compaction or topsoil stripping.

The use of polymers, flocculants, or other sedimentation treatment chemicals are not proposed as part of this SWPPP as designed by the Engineer. If methods or phasing of construction require the use of any of these chemicals, the Contractor shall prepare and submit to the Engineer a SWPPP amendment that meets the minimum requirements of Section 9 of the Permit.

TEMPORARY SEDIMENTATION BASINS

A temporary sedimentation basin has not been included in this SWPPP as designed by the Engineer. If a basin is later determined to be desirable or necessary the Contractor shall prepare and submit to the Engineer a SWPPP amendment. Temporary sedimentation basins shall meet or exceed the minimum requirements of Section 14 of the Permit and shall include a basin draining plan meeting or exceeding the minimum requirements of Section 10 of the Permit. Where the site discharges to Special and/or Impaired Waters the SWPPP amendment shall also meet or exceed the minimum requirements of Section 23 of the permit.

DEWATERING

A dewatering plan has not been included in this SWPPP as designed by the Engineer. If dewatering is required for this project, the Contractor shall prepare and submit to the Engineer a SWPPP amendment. All dewatering shall meet or exceed the minimum requirements of Section 10 of the Permit.

POLLUTION PREVENTION

Products and materials that have the potential to leach pollutants that are stored on the site must be stored in a manner designed to minimize contact with stormwater. Materials that are not a source of potential contamination to stormwater or that are designed for exposure to stormwater are not required to be covered.

Hazardous materials including but not limited to pesticides, fertilizer, petroleum products, curing compounds and toxic waste must be properly stored and protected from stormwater exposure as recommended by the manufacturer in an access restricted area.

Solid waste must be stored, collected and disposed of in compliance with Minnesota Administrative Rules Chapter 7035.

Portable toilets must be positioned so that they are secure and will not be tipped or knocked over. Sanitary waste must be disposed of properly in accordance with Minn. R. CH 7041.

Exterior vehicle or equipment washing on the project site shall be limited to a defined area of the site. No engine degreasing is allowed on site. A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.

The Contractor shall prepare and submit a SWPPP amendment detailing the location and BMPs proposed for storage of materials, solid waste, portable toilets, and exterior vehicle or equipment washing on the site. The SWPPP amendment shall include a spill prevention and response plan that is appropriate for the materials proposed to be on the site. The SWPPP amendment shall meet or exceed the minimum requirements of Section 12 of the Permit.

INSPECTION & MAINTENANCE

A trained person shall routinely inspect the entire construction site at the time interval indicated on this sheet of the SWPPP during active construction and within 24-hours after a rainfall event greater than 0.5 inches in 24 hours. Following an inspection that occurs within 24-hours after a rainfall event, the next inspection must be conducted at the time interval indicated in the Receiving Waters Table found on the SITE PLAN AND INFORMATION SHEET of the SWPPP.

All inspections and maintenance conducted during construction must be recorded on the day it is completed and must be retained with the SWPPP. Inspection report forms are available in the Project Specifications. Inspection report forms other than those provided shall be approved by the engineer.

The Contractor may request a change in inspection schedule for the following conditions:

a. Inspections of areas with permanent cover to be reduced to once per month,
b. Inspections of areas that have permanent cover and have had no construction activity for 12 months to be suspended until construction resumes,
c. Inspections of areas where construction is suspended due to frozen ground conditions, inspections to be suspended until the earlier of within 24 hours of runoff occurring, or upon resuming construction.

No change in inspection schedule shall occur until authorized by the Engineer.

Inspections must include:

1. All erosion prevention and sediment control BMPs and Pollution Prevention Management Measures to ensure integrity and effectiveness.
2. Surface waters, including drainage ditches and conveyance systems for evidence of erosion and sediment deposition.
3. Construction site vehicle exit locations, streets and curb and gutter systems within and adjacent to the project for sedimentation from erosion or tracked sediment from vehicles.
4. Infiltration areas to ensure that no sediment from ongoing construction activity is reaching the infiltration area and that equipment is not being driven across the infiltration area.

All non-functioning BMPs and those BMPs where sediment reaches one-half (1/2) of the depth of the BMP, or in the case of sediment basins one-half (1/2) of the storage volume, must be repaired, replaced, or supplemented by the end of the next business day after discovery, or as soon as field conditions allow.

Permittees must repair, replace or supplement all nonfunctional BMPs with functional BMPs by the end of the next business day after discovery, or as soon as field conditions allow.

Any sediment that escapes the site must be removed and the area stabilized within 7 calendar days of discovery unless precluded by legal, regulatory, or physical access in which case the work shall be completed within 7 calendar days of authorization. Paved surfaces such as streets shall have any escaped or tracked sediment removed by the end of the day that it is discovered. Sediment release, other than paved surfaces that can be cleaned up with street sweeping shall be reported immediately upon discovery to the Engineer.

PUBLIC WATER RESTRICTIONS:

For public waters that have been promulgated "work in water restrictions" during fish spawning time frames, all exposed soil areas that are within 200 feet of the water's edge, and drain to these waters must complete stabilization within 24-hours during the time period. MN DNR permits are not valid for work in waters that are designated as infested waters unless accompanied by an Infested Waters Permit or written notification has been obtained from MN DNR stating that such permit is not required. There is no exception for pre-existing permits. If a MN DNR Permit has been issued for the project and the water is later designated as infested, the Contractor shall halt all work covered by the MN DNR Permit until an Infested Waters Permit is obtained or that written notification is obtained stating that such permit is not required.

FINAL STABILIZATION

Final Stabilization is not complete until all the following requirements have been met:

1. Substantial Completion has been reached and no ground disturbing activities are anticipated.
2. Permanent cover has been installed with an established minimum uniform perennial vegetation density of 70 percent of its expected final growth. Vegetation is not required in areas where no vegetation is proposed by this project such as impervious surfaces or the base of a sand filter.
3. Accumulated sediment has been removed from all permanent stormwater treatment systems as necessary to ensure the system is operating as designed.
4. All sediment has been removed from conveyance systems
5. All temporary synthetic erosion prevention and sediment control BMPs have been removed. BMPs designated on the SWPPP to remain to decompose on-site may remain.
6. For residential construction only, permit coverage terminates on individual lots if the structures are finished and temporary erosion prevention and downgradient perimeter control is complete, the residence sells to the homeowner, and the permittee distributes the MPCA's "Homeowner Fact Sheet" to the homeowner.
7. For agricultural land only (e.g., pipelines across cropland), the disturbed land must be returned to its preconstruction agricultural use prior to submitting the NOT.

SITE STABILIZATION COMPLETION:

Stabilization of exposed soils shall begin immediately and shall be completed after the construction activity has temporarily or permanently ceased no later than:	7 calendar days

SITE INSPECTION INTERVAL:

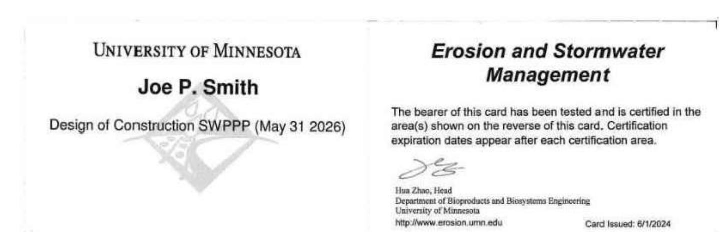
A trained person shall routinely inspect the entire construction site during active construction at an interval of no more than:	3 calendar days

SPECIAL ENVIRONMENTAL CONSIDERATIONS AND PERMITS:

1)	Was an environmental review required for this project or any part of a common plan of development or sale that includes all or any portion of this project?	NO
2)	Does any portion of the site have the potential to affect threatened or endangered species or their critical habitat?	NO
3)	Does any portion of this site discharge to a Calcareous fen.	NO
4)	Will any portion of the site potentially affect properties listed on the National Register of Historic Places or a known or discovered archeological site?	NO
5)	Have any Karst features have been identified in the project vicinity?	NO
6)	Is compliance with temporary or permanent stormwater management design requirements infeasible for this project?	NO
7)	Has the MN DNR promulgated "work in water restrictions" for any Public Water this site disharges to during fish spawning?	NO

TYPE OF PERMIT	PERMITTING AGENCY	PERMIT STATUS AND CONDITIONS
Construction Stormwater NPDES	MPCA	(contractor to apply for permit)

SWPPP DESIGNER TRAINING DOCUMENTATION:


UNIVERSITY OF MINNESOTA
Joe P. Smith
Design of Construction SWPPP (May 31 2026)

Erosion and Stormwater Management

The bearer of this card has been tested and is certified in the area(s) shown on the reverse of this card. Certification expiration dates appear after each certification area.

Hua Zhao, Head
Department of Bioproducts and Biosystems Engineering
University of Minnesota
http://www.erosion.umn.edu
Card Issued: 6/1/2024

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Name	Jeffrey A. Domras
Registration #	26464
JEFFREY A. DOMRAS	Date 12/24/2024
100% CD SET	12/24/2024
BMI Project #	0M1.133927
DF/ Project #	22-150
Scale	PER SHEET
Designed	JAD/JPS
Drawn	JPS
Checked	JAD
REVISION	--

STORMWATER POLLUTION PREVENTION PLAN
NARRATIVE

C202

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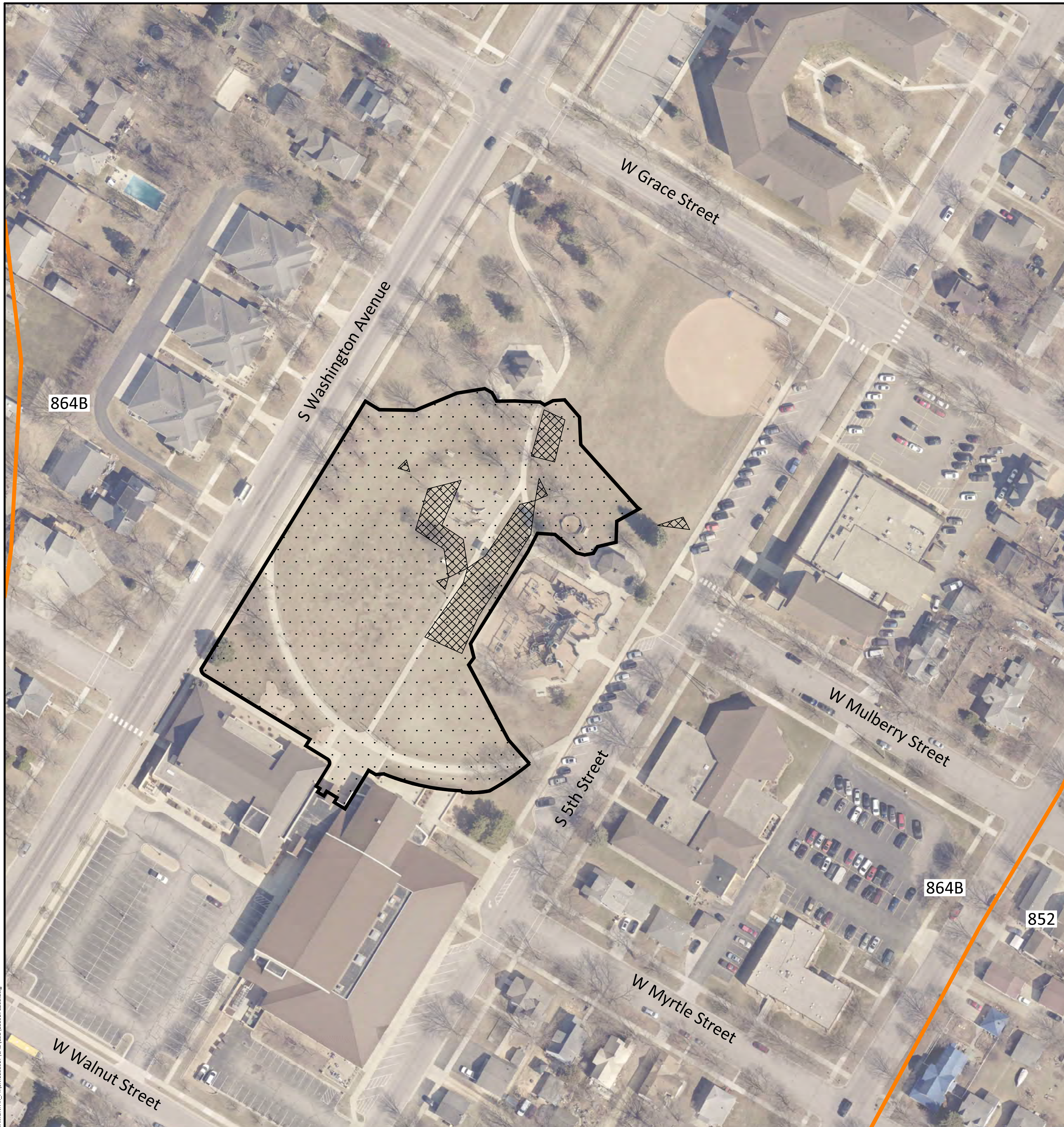

LEGEND

- PROJECT BOUNDARY
- 864B SOIL TYPE
- STEEP SLOPES (>33.3%)

SCALE 0 50 100 FEET

SOIL TYPE SUMMARY			
Map Unit Symbol	Soil Name	Hyd. Soil Group	Erodibility
864B	Plainfield	A	NHEL

NHEL - Not Highly Erodible Land
PHEL - Potentially Highly Erodible Land
HEL - Highly Erodible Land

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100% CONSTRUCTION DRAWINGS

GORMAN PARK
PHASE 1
ST. PETER, MINNESOTA

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Name	Jeffrey A. Domras
Registration #	26464
JEFFREY A. DOMRAS	Date 12/24/2024
100% CD SET	12/24/2024
BMI Project #	0M1.133927
DF/ Project #	22-150
Scale	PER SHEET
Designed	JAD/JPS
Drawn	JPS
Checked	JAD
REVISION	--

STORMWATER POLLUTION PREVENTION PLAN
SITE AND SOILS MAP

C203

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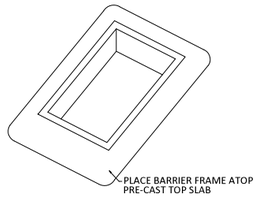
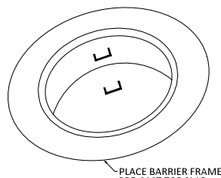
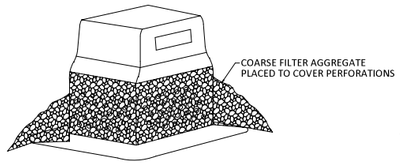
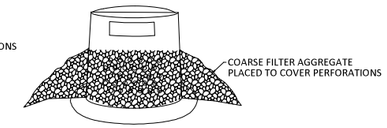
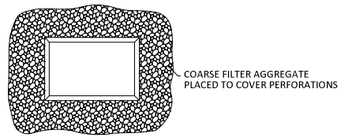
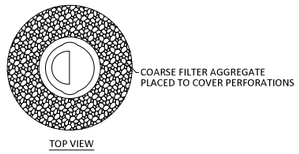


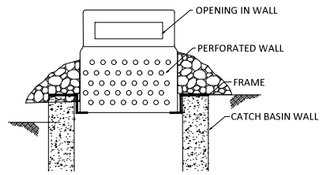




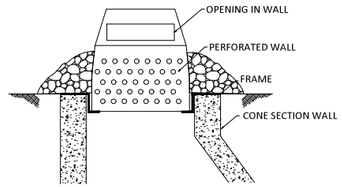




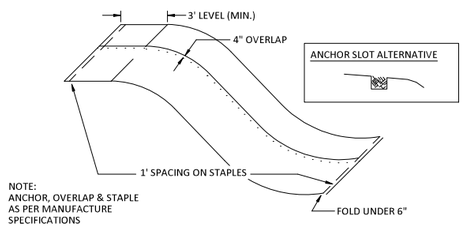




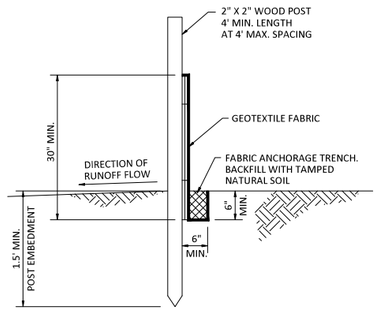
2' X 3' STRUCTURE
EROSION CONTROL BARRIER
NOT TO SCALE
SAINT PETER STANDARD
PLATE 3016



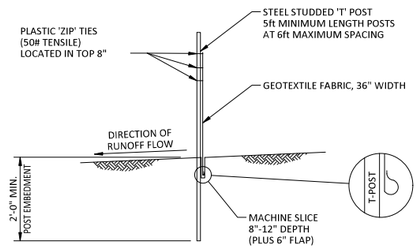
24" OR 27" DIAMETER STRUCTURE
EROSION CONTROL BARRIER
NOT TO SCALE
SAINT PETER STANDARD
PLATE 3016



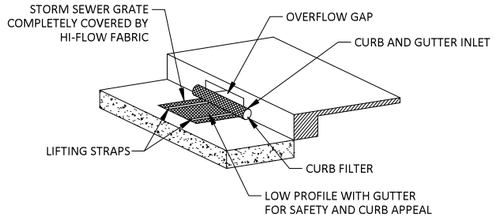
EROSION CONTROL BLANKET INSTALLATION
NOT TO SCALE
SAINT PETER STANDARD
PLATE 3008



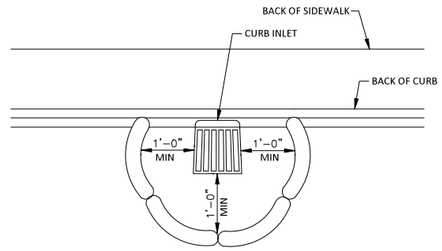
SILT FENCE - PRE ASSEMBLED
NOT TO SCALE
SAINT PETER STANDARD
PLATE 3004



SILT FENCE - MACHINE SLICED
NOT TO SCALE
SAINT PETER STANDARD
PLATE 3006

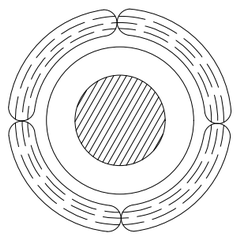


CURB INLET (WITH GRATE) PROTECTION
SEDIMENT CONTROL DEVICE
NOT TO SCALE
SAINT PETER STANDARD
PLATE 3025

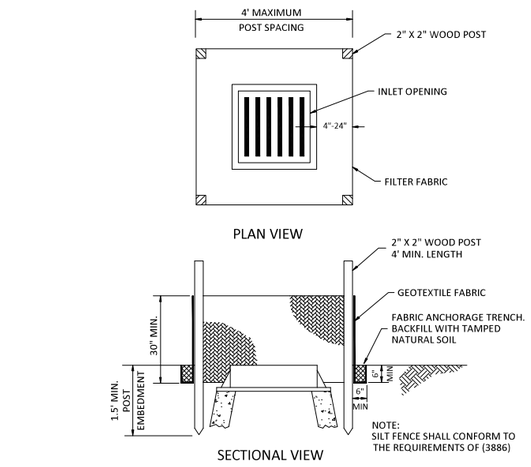


NOTE:
THIS INLET PROTECTION IS USED DURING ROUGH GRADING ONLY, USE BEFORE ROAD IS OPEN TO TRAFFIC OR IS PAVED

PAYMENT SHALL INCLUDE ALL MATERIALS, FILLING OF LOG, PLACEMENT, MAINTENANCE & REMOVAL; 80% OF BID PRICE SHALL BE PAID UPON PROPER PLACEMENT WITH THE FINAL 20% PAID UPON REMOVAL



INLET PROTECTION
WITH ROCK LOG

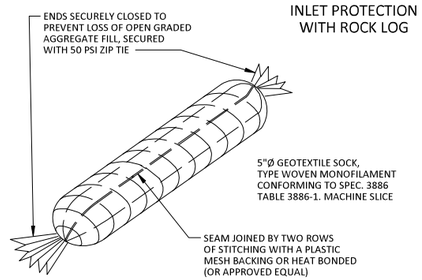


INLET PROTECTION - PRE ASSEMBLED
NOT TO SCALE
SAINT PETER STANDARD
PLATE 3011

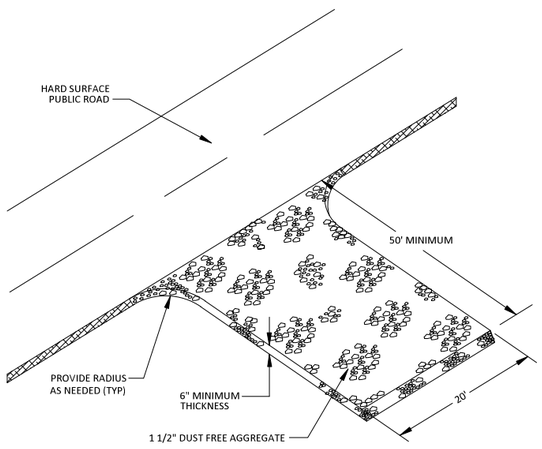
FILL ROCK LOG WITH 45 LBS. OF OPEN GRADED AGGREGATE CONSISTING OF SOUND, DURABLE PARTICLES OF CRUSHED QUARRY ROCK OR GRAVEL CONFORMING TO THE FOLLOWING GRADATION.

GRADATION	
SIEVE SIZE	PERCENT PASSING
1 1/2"	100
1"	95-100
3/4"	65-95
3/8"	30-65
NO 4	10-35
NO 10	3-20
NO 40	0-8
NO 200	0-3

NOTE:
CRUSHED CONCRETE OR BITUMINOUS SHALL NOT BE USED FOR OPEN GRADED AGGREGATE.



INLET PROTECTION
ROCK BAG
NOT TO SCALE
SAINT PETER STANDARD
PLATE 3015



RESIDENTIAL EROSION CONTROL
AT CONSTRUCTION SITE ENTRANCE
NOT TO SCALE
SAINT PETER STANDARD
PLATE 3005R

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100%
CONSTRUCTION
DRAWINGS

GORMAN PARK
PHASE 1
ST. PETER, MINNESOTA

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Registration #	26464
	12/24/2024
JEFFREY A. DOMRAS	Date

100% CD SET	12/24/2024
BMI Project #	0M1.133927
DF/ Project #	22-150
Scale	PER SHEET
Designed	JAD/JPS
Drawn	JPS
Checked	JAD
REVISION	–

STORMWATER
POLLUTION
PREVENTION PLAN
BMP DETAILS

C204

GENERAL NOTES:
1. TEMPORARY MULCH OR SHEET COVER IS REQUIRED ON ALL STOCKPILES WHEN IN PLACE FOR 7 DAYS OR LONGER (INCIDENTAL).
2. PRIOR TO SEEDING, GRADE TOPSOIL TO 0.5" BELOW TOP OF CONCRETE ELEVATIONS (TOP OF CURB, BACK OF WALK, ETC.) TO MITIGATE TOPSOIL WASHOUT.

S Washington Avenue

Community Center

S 5th Street

Mulberry St

FUTURE IMPROVEMENTS

THE CONTRACTOR SHALL CONSTRUCT 1V:3H GRADES FROM THE EAST EDGE OF NEW CONCRETE WALK TO MATCH EXISTING CONCRETE WALK ADJACENT TO TREEMENDOUS PLAYGROUND AREA (AS DEPICTED BY THE GRADING LIMITS). PROTECT EXISTING CONCRETE WALK. (INCIDENTAL TO SITE GRADING).

HORZ. SCALE 0 25 50 FEET

LEGEND
- EXISTING/PROPOSED DRAINAGE FLOW
- PERIMETER CONTROL
- GRADING LIMITS
- STORM DRAIN INLET PROTECTION
- STABILIZED CONSTRUCTION EXIT
- TURF ESTABLISHMENT (SEE LANDSCAPE PLANS)
- MnDOT EROSION CONTROL BLANKET CATEGORY 20

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100% CONSTRUCTION DRAWINGS

GORMAN PARK
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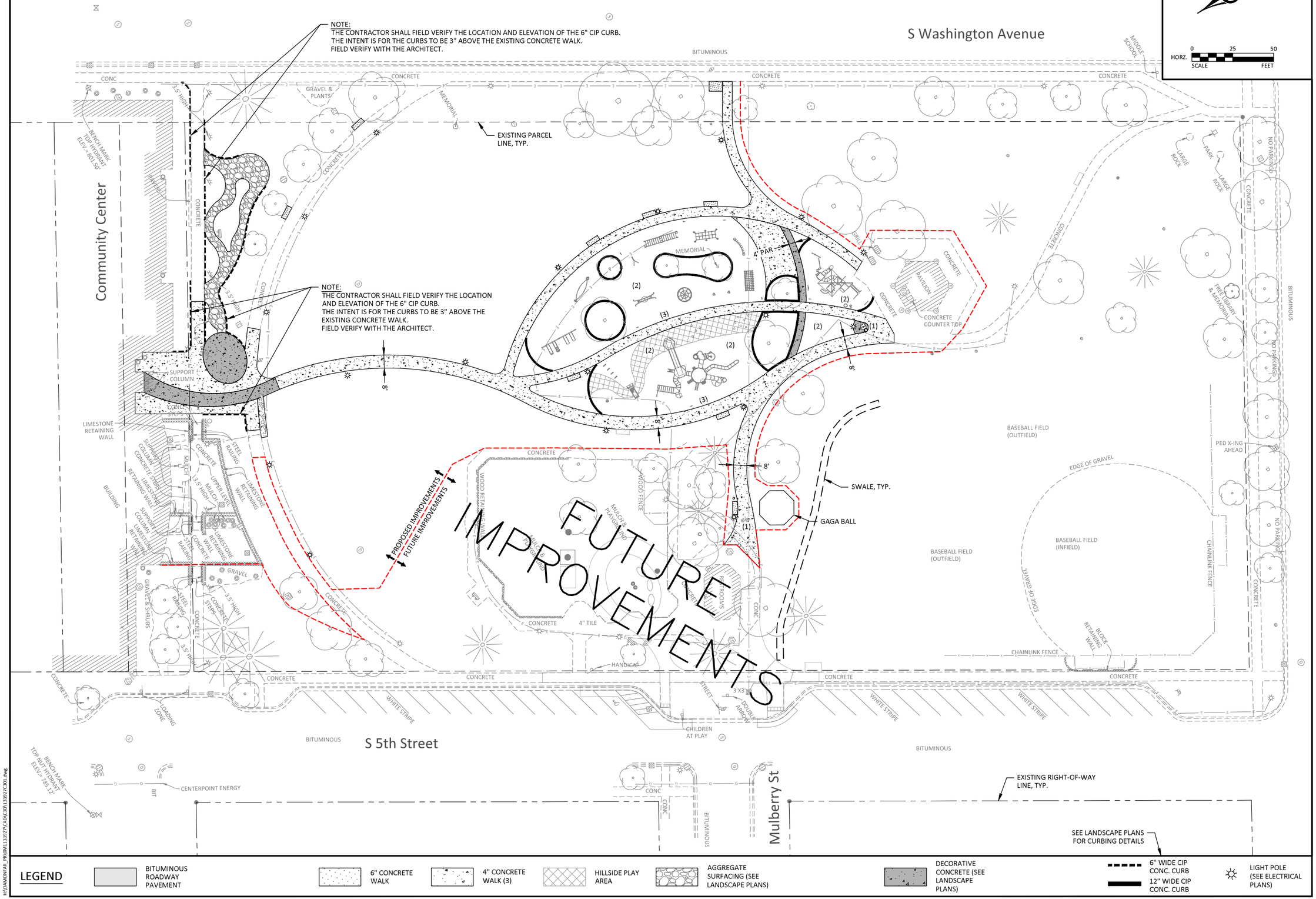
DF/ Project #	22-150
Scale	PER SHEET
Designed	JAD/JPS
Drawn	JPS
Checked	JAD
REVISION	–

STORMWATER POLLUTION PREVENTION PLAN
EROSION & SEDIMENT CONTROL PLAN

C205

GENERAL NOTES:
- CONCRETE WALK IS 6.0' WIDE UNLESS NOTED OTHERWISE
- CONCRETE WALK SHALL BE CONSTRUCTED WITH A CROSS SLOPE OF LESS THAN 2.0% (SEE GRADING PLAN)
- ALL CONCRETE JOINTS SHALL BE SAWCUT (EXCEPT EXPANSION JOINTS)

NUMBERED NOTES:
(1) ADJUST CLEANOUT OR CURB STOP BOX TO MATCH FINISHED GRADE AND INSTALL CASTING ASSEMBLY SPECIAL.
(2) SEE LANDSCAPE PLANS FOR SURFACING TYPE
(3) THICKENED EDGE CONCRETE WALK SHALL BE CONSTRUCTED ADJACENT TO PLAYGROUND AREAS. SEE LANDSCAPE PLANS FOR EXACT LOCATIONS AND CONSTRUCTION DETAILS



HORZ. SCALE 0 25 50 FEET

LEGEND
- BITUMINOUS ROADWAY PAVEMENT
- 6" CONCRETE WALK
- 4" CONCRETE WALK (3)
- HILLSIDE PLAY AREA
- AGGREGATE SURFACING (SEE LANDSCAPE PLANS)
- DECORATIVE CONCRETE (SEE LANDSCAPE PLANS)
- 6" WIDE CIP CONC. CURB
- 12" WIDE CIP CONC. CURB
- LIGHT POLE (SEE ELECTRICAL PLANS)

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JEFFREY A. DOMRAS	Date

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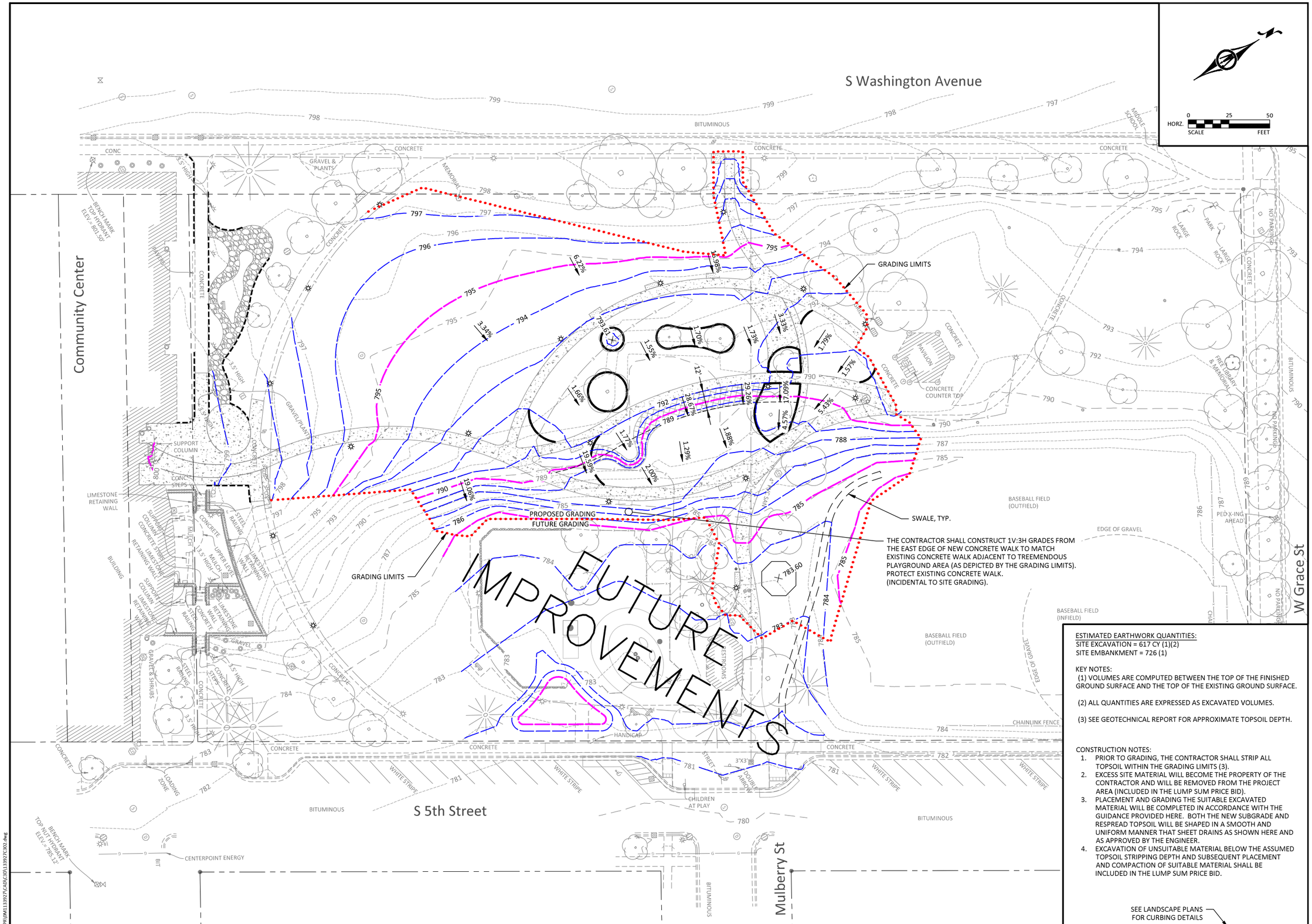
DF/ Project #	22-150
Scale	PER SHEET
Designed	JAD/JPS
Drawn	JPS
Checked	JAD
REVISION	–

SITE PLAN

C301



ESTIMATED EARTHWORK QUANTITIES:
SITE EXCAVATION = 617 CY (1)(2)
SITE EMBANKMENT = 726 (1)

KEY NOTES:
(1) VOLUMES ARE COMPUTED BETWEEN THE TOP OF THE FINISHED GROUND SURFACE AND THE TOP OF THE EXISTING GROUND SURFACE.

(2) ALL QUANTITIES ARE EXPRESSED AS EXCAVATED VOLUMES.

(3) SEE GEOTECHNICAL REPORT FOR APPROXIMATE TOPSOIL DEPTH.

CONSTRUCTION NOTES:
1. PRIOR TO GRADING, THE CONTRACTOR SHALL STRIP ALL TOPSOIL WITHIN THE GRADING LIMITS (3).
2. EXCESS SITE MATERIAL WILL BECOME THE PROPERTY OF THE CONTRACTOR AND WILL BE REMOVED FROM THE PROJECT AREA (INCLUDED IN THE LUMP SUM PRICE BID).
3. PLACEMENT AND GRADING THE SUITABLE EXCAVATED MATERIAL WILL BE COMPLETED IN ACCORDANCE WITH THE GUIDANCE PROVIDED HERE. BOTH THE NEW SUBGRADE AND RESPREAD TOPSOIL WILL BE SHAPED IN A SMOOTH AND UNIFORM MANNER THAT SHEET DRAINS AS SHOWN HERE AND AS APPROVED BY THE ENGINEER.
4. EXCAVATION OF UNSUITABLE MATERIAL BELOW THE ASSUMED TOPSOIL STRIPPING DEPTH AND SUBSEQUENT PLACEMENT AND COMPACTION OF SUITABLE MATERIAL SHALL BE INCLUDED IN THE LUMP SUM PRICE BID.

SEE LANDSCAPE PLANS FOR CURBING DETAILS

LEGEND
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING RIGHT-OF-WAY LINE
- EXISTING PARCEL LINE
- HILLSIDE PLAY AREA
- 6" WIDE CIP CONC. CURB
- 12" WIDE CIP CONC. CURB

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Designed	JAD/JPS
Drawn	JPS
Checked	JAD
REVISION	–

GRADING PLAN
OVERALL SITE

C302

NOTE:
THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF THE 6" CIP CURB.
THE INTENT IS FOR THE CURBS TO BE 3" ABOVE THE EXISTING CONCRETE WALK.
FIELD VERIFY WITH THE ARCHITECT.

S Washington Avenue

Community Center

THE CONTRACTOR SHALL CONSTRUCT 1V:3H GRADES FROM THE EAST EDGE OF NEW CONCRETE WALK TO MATCH EXISTING CONCRETE WALK ADJACENT TO TREEMENDOUS PLAYGROUND AREA (AS DEPICTED BY THE GRADING LIMITS). PROTECT EXISTING CONCRETE WALK. (INCIDENTAL TO SITE GRADING).

FUTURE IMPROVEMENTS

LEGEND

- LANDING AREA - 4' X 4' MIN. DIMENSIONS AND 1.0% OPTIMUM (2.0% MAXIMUM) SLOPE IN ALL DIRECTIONS
- (T) TRANSITION PANEL(S) - TO BE USED FOR TRANSITIONING THE CROSS-SLOPE OF A RAMP TO THE EXISTING WALK CROSS-SLOPE. RATE OF TRANSITION SHOULD BE 0.5% PER 1 LINEAR FOOT OF WALK.
- (F) INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE 4.0% OPTIMUM (2.0% MINIMUM AND 5.0% MAXIMUM) IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL BE 1.5% OPTIMUM (2.0% MAX.)
- (S) INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE 7.0% OPTIMUM (5.0% MINIMUM AND 8.3% MAXIMUM) IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL BE 1.5% OPTIMUM (2.0% MAX.)
- X.XX% DRAINAGE FLOW ARROW AND SLOPE
- X" CURB HEIGHT
- TRUNCATED DOMES (SEE MnDOT STANDARD PLATE 7038)
- HILLSIDE PLAY AREA
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR

NOTES:
1. ALL TOP OF CURB ELEVATIONS GIVEN ON THE INTERSECTION DETAILS (INCLUDING THOSE GIVEN AT PEDESTRIAN RAMP CONTROL POINTS) REPRESENT FULL HEIGHT TOP OF DESIGN B6 (6") UNLESS NOTED OTHERWISE. THE CURB HEIGHT THROUGH DRIVEWAYS AND PEDESTRIAN RAMPS SHALL BE CONSTRUCTED PER THE DETAILS IN THIS PLAN SET.

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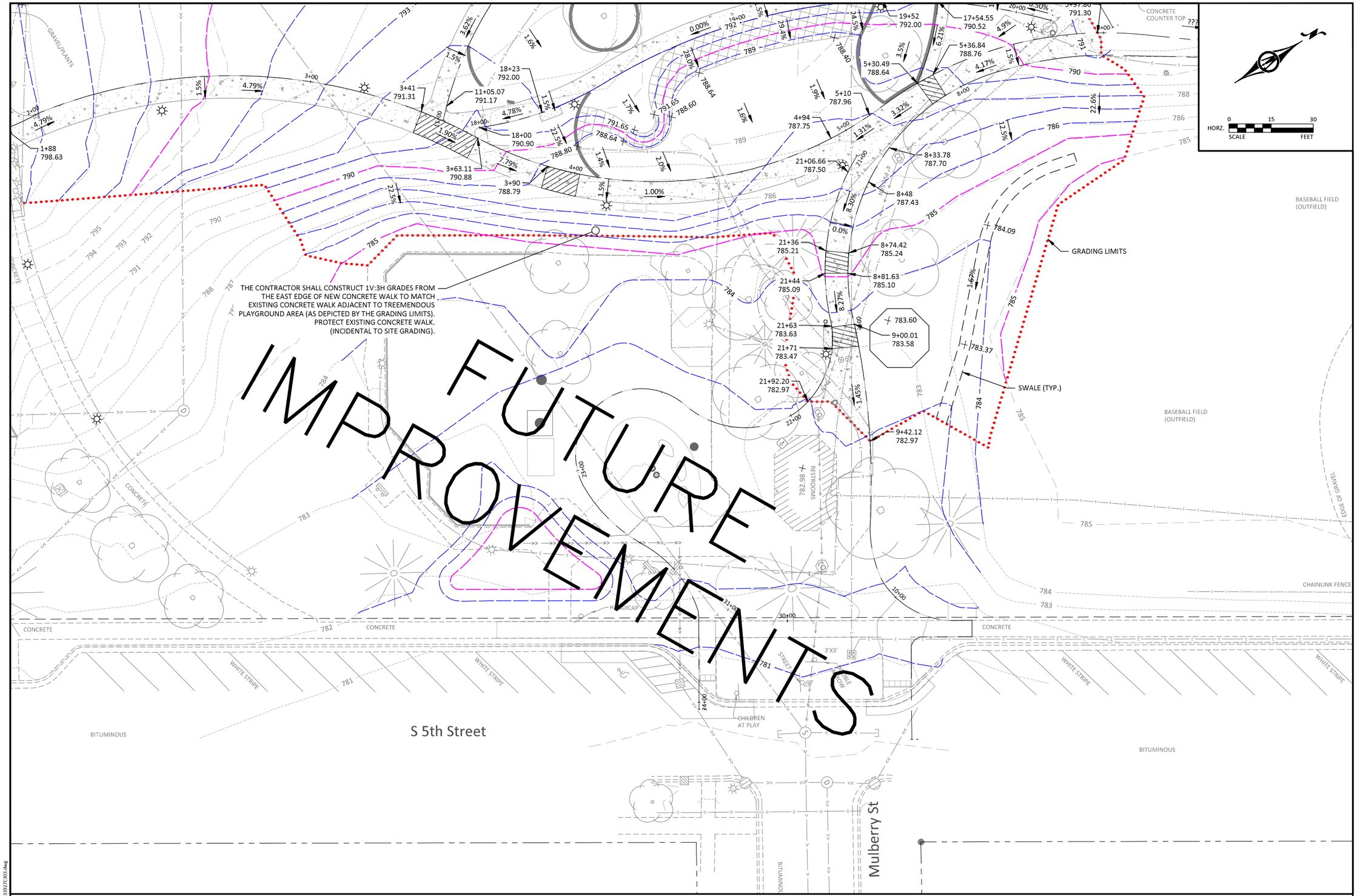
REVISION	–

GRADING PLAN
DETAILED GRADING PLAN

C303



LEGEND

- LANDING AREA - 4' X 4' MIN. DIMENSIONS AND 1.0% OPTIMUM (2.0% MAXIMUM) SLOPE IN ALL DIRECTIONS
- (T) TRANSITION PANEL(S) - TO BE USED FOR TRANSITIONING THE CROSS-SLOPE OF A RAMP TO THE EXISTING WALK CROSS-SLOPE. RATE OF TRANSITION SHOULD BE 0.5% PER 1 LINEAR FOOT OF WALK.
- (F) INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE 4.0% OPTIMUM (2.0% MINIMUM AND 5.0% MAXIMUM) IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL BE 1.5% OPTIMUM (2.0% MAX.)
- (S) INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE 7.0% OPTIMUM (5.0% MINIMUM AND 8.3% MAXIMUM) IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL BE 1.5% OPTIMUM (2.0% MAX.)
- X.XX% DRAINAGE FLOW ARROW AND SLOPE
- X" CURB HEIGHT
- TRUNCATED DOMES (SEE MnDOT STANDARD PLATE 7038)

NOTES:
1. ALL TOP OF CURB ELEVATIONS GIVEN ON THE INTERSECTION DETAILS (INCLUDING THOSE GIVEN AT PEDESTRIAN RAMP CONTROL POINTS) REPRESENT FULL HEIGHT TOP OF DESIGN B6 (6") UNLESS NOTED OTHERWISE. THE CURB HEIGHT THROUGH DRIVEWAYS AND PEDESTRIAN RAMPS SHALL BE CONSTRUCTED PER THE DETAILS IN THIS PLAN SET.

- HILLSIDE PLAY AREA
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR

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CITY OF SAINT PETER
CITY OF SAINT PETER
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NELSON-RUDIE & ASSOCIATES
9100 49TH AVE NORTH
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612.669.4385

100% CONSTRUCTION DRAWINGS

GORMAN PARK
PHASE 1
ST. PETER, MINNESOTA

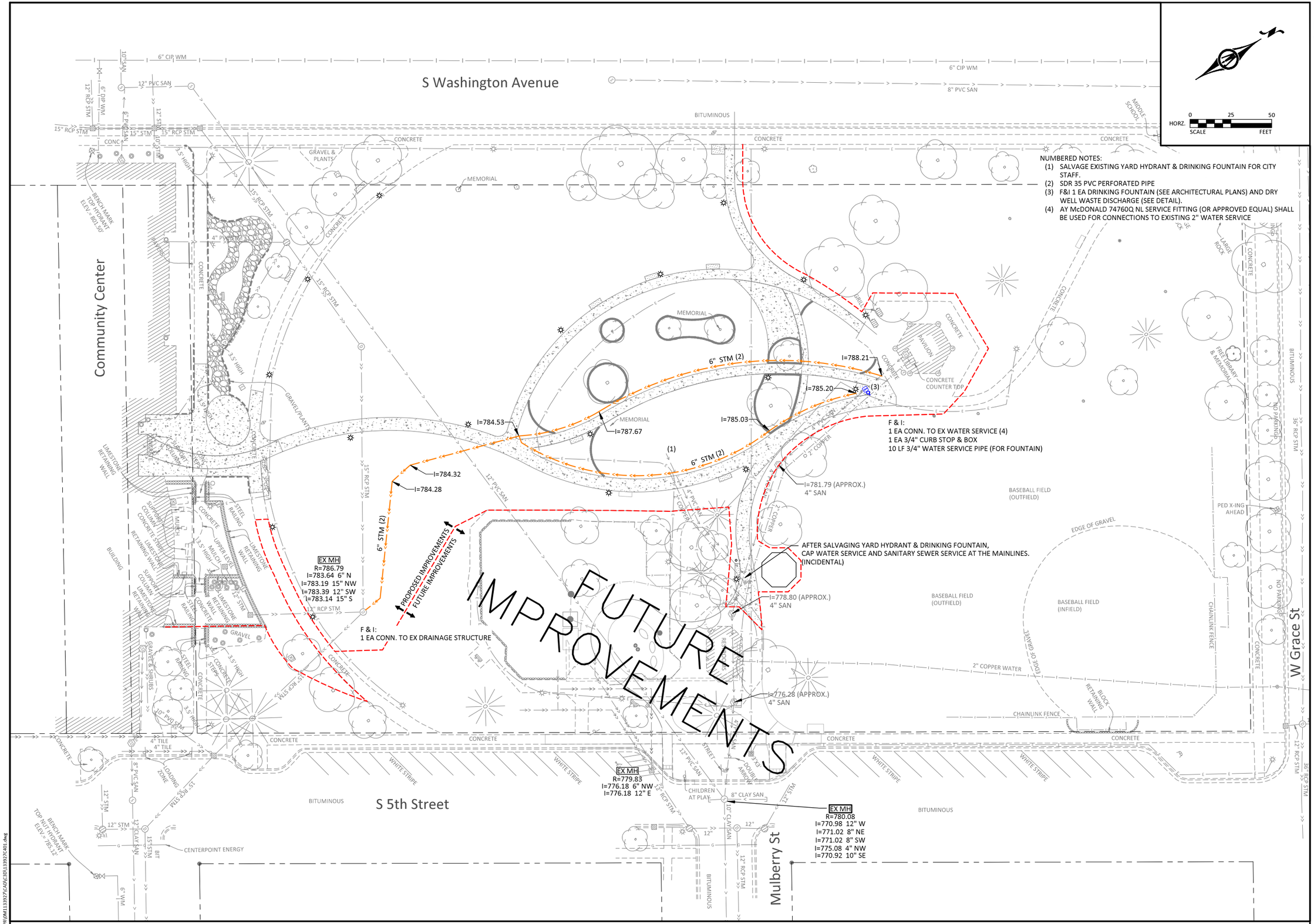
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Name	Jeffrey A. Domras
Registration #	28464
	12/24/2024
JEFFREY A. DOMRAS	Date

100% CD SET	12/24/2024
BMI Project #	0M1.133927
DF/ Project #	22-150
Scale	PER SHEET
Designed	JAD/JPS
Drawn	JPS
Checked	JAD
REVISION	–

GRADING PLAN
DETAILED GRADING PLAN

C304



LEGEND

EXISTING SANITARY SEWER PIPE
PROPOSED WATER SERVICE PIPE
EXISTING WATERMAIN PIPE
PROPOSED STORM TILE PIPE
EXISTING STORM SEWER PIPE

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Registration #	26464
	12/24/2024
JEFFREY A. DOMRAS	Date

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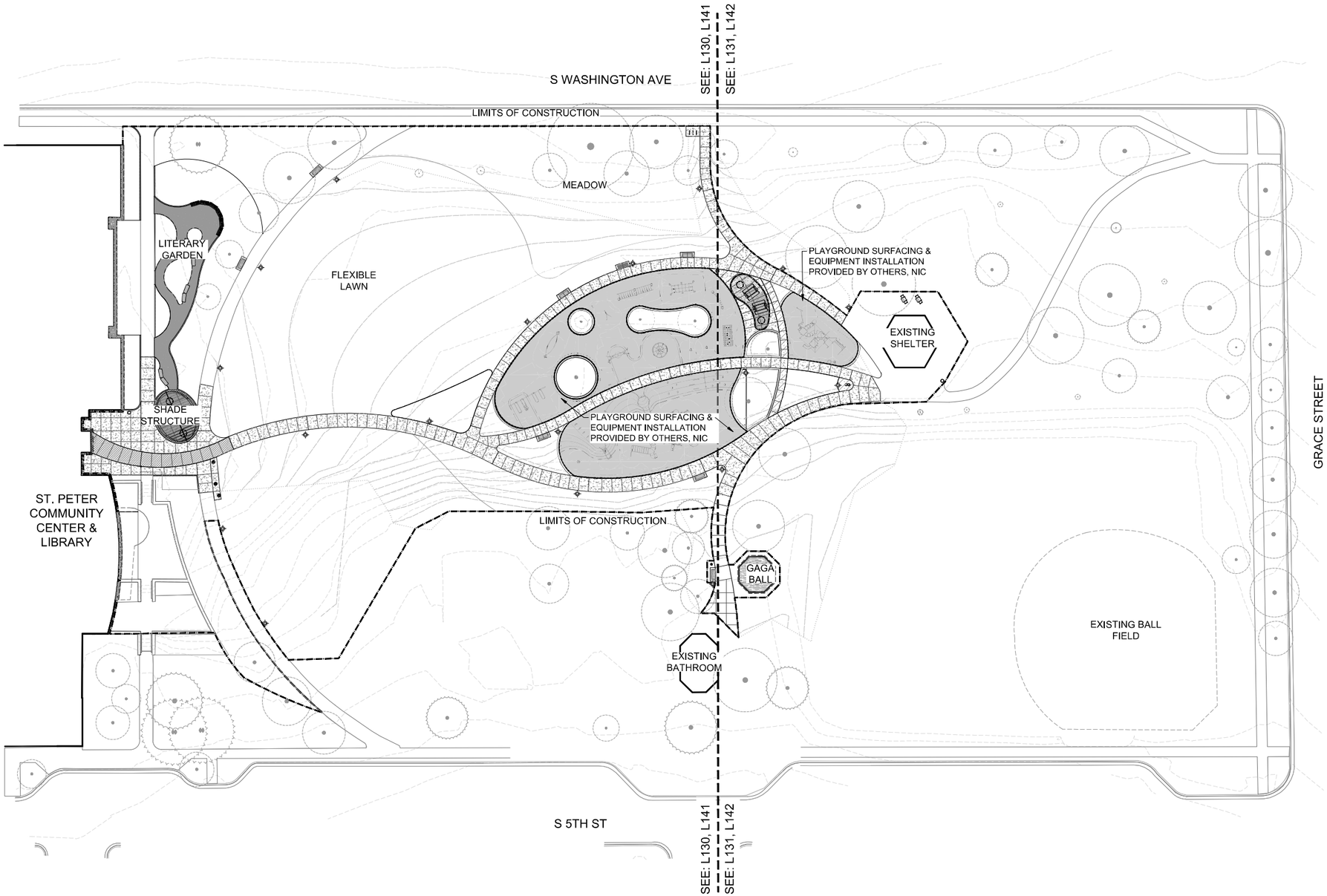
Scale	PER SHEET
Designed	JAD/JPS
Drawn	JPS
Checked	JAD
REVISION	–

UTILITY PLAN

C401



01 L000 SITE ORIENTATION PLAN
1" = 30'-0"

0 30' 60' 90'
SCALE: 1"=30'

NORTH

NOTES

1. CITY OF SAINT PETER IS IN DIRECT CONTRACT WITH PLAY MANUFACTURER. CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION EFFORTS WITH PLAY MANUFACTURER TO ENSURE SITE PREPARATION IS COMPLETE AND ON SCHEDULE FOR INSTALLATION OF SURFACE AND EQUIPMENT.
2. CONTRACTOR TO EXCAVATE AND HOLD DOWN SUBGRADE FOR PLAY SURFACING INSTALLATION. REFER TO PLAY CONTAINER SECTIONS L400.

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100% CONSTRUCTION DRAWINGS

GORMAN PARK

ST. PETER, MINNESOTA

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Name	Thomas Whitlock
Registration#	26292
Signature	12/24/2024 Date

100% CD SET	12/24/2024
DF/ Project #	22-150
Scale	PER SHEET
Drawn/Checked	AG / RP / JR / JM
REVISION	–

SITE ORIENTATION PLAN

L000

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION	DETAIL	MATERIAL PROFILE/ASSEMBLY	MANUFACTURER	PRODUCT/MODEL	COLOR/FINISH	COMMENTS	SPEC #
AMENITY								
AM-01	SITE AMENITY TYPE 1 - COMMUNITY CENTER SHADE PAVILION	1/L503	30'X24' OVAL STEEL AND THERMALLY MODIFIED ASH PAVILION	NEU DESIGN OR APPROVED PRODUCT	NEU DESIGN OR APPROVED PRODUCT	V-SHAPED STEEL SQUARE TUBE COLUMNS, STEEL BEAM GRID STRUCTURE WITH THERMALLY MODIFIED ASH SLATS		32 33 00 - SITE FURNISHINGS
AM-02	SITE AMENITY TYPE 2 - PLAYGROUND SHADE PAVILION	2/L503	36'X14' ORGANIC SHAPED ALUMINUM AND THERMALLY MODIFIED ASH PAVILION	NEU DESIGN OR APPROVED PRODUCT	NEU DESIGN OR APPROVED PRODUCT	V-SHAPED STEEL SQUARE TUBE COLUMNS, ALUMINUM BEAM GRID STRUCTURE WITH THERMALLY MODIFIED ASH SLATS		32 33 00 - SITE FURNISHING
AM-04	SITE AMENITY TYPE 04 - EXISTING GRILL - RELOCATE	N/A	EXISTING GRILL				RELOCATE EXISTING GRILL WHERE SHOW ON PLANS	
CODE	DESCRIPTION	DETAIL	MATERIAL PROFILE/ASSEMBLY	COLOR/FINISH	SPEC #			
CURB								
CB-01	CURB TYPE 1 - 6" CONCRETE	5/L500	6" W X 9" D FLUSH CONCRETE CURB OVER COMPACTED CLASS V AGGREGATE BASE AND COMPACTED SUBGRADE	STANDARD GRAY CONCRETE, MATCH FINISH OF EXISTING CURBS ON SITE	32 16 14 - CURBS, GUTTERS, AND DRIVEWAYS			
CB-02	CURB TYPE 2 - 12" CONCRETE	6/L500	12" W X 8" D REINFORCED FLUSH CONCRETE CURB OVER COMPACTED CLASS V AGGREGATE BASE AND COMPACTED SUBGRADE	STANDARD GRAY CONCRETE, MATCH FINISH OF EXISTING CURBS ON SITE				
EDGING								
ED-01	EDGING TYPE 1 - STEEL EDGER	8/L500	3/16" STEEL EDGING WITH STAKES	BLACK	32 93 00 - PLANTS			
CODE	DESCRIPTION	DETAIL	MATERIAL PROFILE/ASSEMBLY	MANUFACTURER	PRODUCT/MODEL	COLOR/FINISH	SPEC #	
MINERAL MULCH								
MM-01	MINERAL MULCH TYPE 01 - MAINTENANCE STRIP	9/L500	1 1/2" DECORATIVE TRAP ROCK OVER GEOTEXTILE FABRIC	DRESSER TRAP (OR SIMILAR)	1 1/2" DECORATIVE ROCK	CLEAN WASHED	32 93 00 - PLANTS	
PAVING								
P-01A	PAVING TYPE 01A - DECORATIVE CONCRETE PAVING	2/L500	CONCRETE WALK, SEE CIVIL		STANDARD CONCRETE	TOP CAST #3 OR #5 TO MATCH EXISTING CONCRETE PATH CONDITION, CONTRACTOR TO PROVIDE MOCKUP FOR LANDSCAPE ARCHITECT APPROVAL	32 16 23.13 - CONCRETE WALKS	
P-01B	PAVING TYPE 01B - DECORATIVE CONCRETE PAVING THICKENED EDGE	2/L500	10" THICKENED EDGE ALONG 4" REINFORCED CONCRETE PAVING ,SEE CIVIL		DECORATIVE CONCRETE PAVING WITH TOPCAST FINISH	TOP CAST #3 OR #5 TO MATCH EXISTING CONCRETE PATH CONDITION, CONTRACTOR TO PROVIDE MOCKUP FOR LANDSCAPE ARCHITECT APPROVAL	32 13 16 - DECORATIVE CONCRETE PAVING	
P-02	PAVING TYPE 02 - DECORATIVE CONCRETE PAVING	2/L500	DECORATIVE CONCRETE PAVING OVER SUBBASE OVER COMPACTED SUBGRADE		DECORATIVE CONCRETE PAVING WITH TOPCAST FINISH	TOPCAST #25 FINISH WITH SAWCUT JOINTS	32 13 16 - DECORATIVE CONCRETE PAVING	
P-05	PAVING TYPE 05 - DECOMPOSED GRANITE	3/L500	STABILIZED PATHWAY AGGREGATE CRUSHED TO 1/4" MINUS WITH FINES ON COMPACTED AGGREGATE BASE & SUBGRADE	KAFKA GRANITE, OR APPROVED EQUAL	PRE-BLENDED WITH AN ORGANIC STABILIZING BINDER	PATINA GRANITE COLOR BLEND	32 15 40 - STABILIZED AGGREGATE PAVING	
P-06	PAVING TYPE 06 - EWF SURFACING	4/L500	ENGINEERED WOOD FIBER, 9" DEPTH	FIBAR GROUP LLC (THE); FIBAR SYSTEM OR APPROVED EQUAL		NATURAL WOOD, BROWN		
CODE	DESCRIPTION	DETAIL	MATERIAL PROFILE/ASSEMBLY	COMMENTS				
PLAY EQUIPMENT								
PE-01	PLAY EQUIPMENT TYPE 01 - EXISTING GA GA BALL COURT - RELOCATE	N/A	RELOCATE EXISTING GA GA BALL COURT	NEW EWF SURFACE WITHIN RELOCATED COURT				
CODE	DESCRIPTION	DETAIL	MATERIAL PROFILE/ASSEMBLY	MANUFACTURER	PRODUCT/MODEL	COLOR/FINISH	COMMENTS	SPEC #
SITE FURNITURE								
SF-01	6' BACKED BENCH	1/L502	72IN. L, BACKED, W/ ANGLED SIDE ARMS; SURFACE MOUNTED	LANDSCAPE FORMS OR APPROVED EQUAL	G50-TRAD-B-2AA	FRAME: MATTE BLACK LOW SHEEN, SEAT: JARRAH EXTERIOR WOOD		11 68 00 - PLAY FIELD EQUIPMENT AND STRUCTURES
SF-02	6' BACKED BENCH, CENTER ARM	1/L502	72IN. L, BACKED, W/ ANGLED SIDE AND CENTER ARMS; SURFACE MOUNTED	LANDSCAPE FORMS OR APPROVED EQUAL	G50-TRAD-B-3AA	FRAME: STORMCLOUD GLOSS, SEAT: THERMALLY MODIFIED ASH EXTERIOR WOOD		11 68 00 - PLAY FIELD EQUIPMENT AND STRUCTURES
SF-03	PICNIC BENCH	2/L502	FREESTANDING PICNIC BENCH	LANDSCAPE FORMS OR APPROVED EQUAL	BAN-88, BANCAL BACKLESS BENCH 88IN, EMBEDDED, WOOD	FRAME: STEEL METALLIC, SEAT: THERMALLY MODIFIED ASH EXTERIOR WOOD		11 68 00 - PLAY FIELD EQUIPMENT AND STRUCTURES
SF-04	PICNIC TABLE	3/L502	FREESTANDING PICNIC TABLE	LANDSCAPE FORMS OR APPROVED EQUAL	BANCAL WOOD PICNIC TABLE	FRAME: STEEL METALLIC, TABLETOP: THERMALLY MODIFIED ASH EXTERIOR WOOD		11 68 00 - PLAY FIELD EQUIPMENT AND STRUCTURES
SF-05	RECEPTACLE	4/L502	GENERATION 50, LITTER RECEPTACLE, SIDE OPENING,	LANDSCAPE FORMS OR APPROVED EQUAL	GRCHN-SO OR APPROVED EQUAL	FRAME: MATTE BLACK LOW SHEEN, SLATS: JARRAH EXTERIOR WOOD		11 68 00 - PLAY FIELD EQUIPMENT AND STRUCTURES
SF-06	BIKE RACK	5/L502	BOLA BIKE RACK	LANDSCAPE FORMS OR APPROVED EQUAL	BOLA BIKE RACK OR APPROVED EQUAL	1.5" O.D., .120" WALL STAINLESS STEEL TUBING, WITH A #4		11 68 00 - PLAY FIELD EQUIPMENT AND STRUCTURES
SF-07	BENCH - LIMESTONE BLOCK BENCH	1/L501	5' LENGTH LIMESTONE BLOCK BENCH	KASOTA STONE OR APPROVED EQUAL	KASOTA PREMIUM LIMESTONE BENCH, OR APPROVED EQUAL	KASOTA PREMIUM, PREMIUM SPLIT SIDES WITH SMOOTH TOP/SEAT, OR APPROVED EQUAL	REFER TO PLAN AND DETAILS FOR BLOCK BURY DEPTH AND FUTURE IMPROVEMENTS SEAT TOP CONDITIONS	11 68 00 - PLAY FIELD EQUIPMENT AND STRUCTURES
SF-08	5' WOOD SLAT BENCH TOP - BACKLESS - TO BE INSTALLED IN FUTURE IMPROVEMENTS	1/L501	TOP OF WALL, BACKLESS, STD DEPTH, 5' LENGTH, WOOD BENCH TOP WITH JARRAH SLATS MOUNTED TO LIMESTONE BLOCK BENCH	LANDSCAPE FORMS OR APPROVED EQUAL	LINK BENCH A, STRAIGHT INLINE,	1 SECTION(S), 0 ARMREST(S), BOARD MAT L: DSTMA W/ NO FINISH, POWDER COAT COLOR: CHARCOAL		
SF-09	SURFACE MOUNT DRINKING FOUNTAIN	2/L501	SURFACE MOUNT, VANDAL-RESISTANT, ADA	MOST DEPENDABLE FOUNDTAIN OR APPROVED EQUAL	440 SMFA OR SMSSFA (FRONT APPROACH)	STAINLESS STEEL		11 68 00 - PLAY FIELD EQUIPMENT AND STRUCTURES
SF-10	EXISTING SHADE SAIL - RELOCATE	N/A	EXISTING SHADE SAIL AND POST				RELOCATE EXISTING POST AND SAIL STRUCTURE WHERE SHOWN ON PLAN	

03 L001 SITE MATERIALS SCHEDULE

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION	MATERIAL PROFILE	PRODUCT/MODEL	SPECIFICATION
UTILITIES				
U-01	IRRIGATION TYPE 01 - SPRAY / ROTATOR NOZZLE	ROTOR SPRAY IRRIGATION	HIGH-EFFICIENCY HEADS	32 84 00 - PLANTING IRRIGATION
U-02	IRRIGATION TYPE 02 - DRIP IRRIGATION	DRIP IRRIGATION	HIGH-EFFICIENCY HEADS	32 84 00 - PLANTING IRRIGATION

02 L001 SITE IRRIGATION SCHEDULE

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION	DEPTH	COMPOSITION	NOTES	SUBGRADE PREPARATION	SPEC #
SOIL PROFILE						
SP-01	SOIL TYPE 01 - 6" EXISTING ON-SITE PLANTING SOIL-NATIVE/TURF AREAS	6"	EXISTING ON-SITE SOILS	RETAIN IN-SITU SOILS/ RE-SPREAD STOCKPILED SOILS- REMOVE EXISTING TURF/ HERBACEOUS VEGETATION. PREPARE SOILS TO A DEPTH OF 6" IN AREAS TO RECEIVE TURF/ NATIVE SEEDING, DO NOT TILL BELOW EXISTING TREES, HAND RAKE/ LIGHT HARROW ONLY.	SEE SPECIFICATIONS	329113 - SOIL PREPARATION
SP-02	SOIL TYPE 02 - 18" EXISTING ON-SITE PLANTING SOILS, AMENDED - PERENNIAL AREAS	18"	EXISTING ON-SITE SOILS, AMEND TO MEET REQUIREMENTS OF LOAM TOPSOIL BORROW (MNDOT 3877-B).	RETAIN IN-SITU SOILS/ RE-SPREAD STOCKPILES SOILS AND AMEND IN-SITU TO A DEPTH OF 18" TO PROVIDE VIABLE PLANTING SOILS AT PERENNIAL PLANTING BEDS, TREE, AND SHRUB PLANTING AREAS.	SEE SPECIFICATIONS	329113 - SOIL PREPARATION
SP-03	SOIL TYPE 03 - 6" IN-SITU AMENDED SOILS - AIR SPADE	6"	EXISTING, IN-SITU SOILS AMENDED WITH 1/2" COMPOST TOPDRESSING	AIR SPADE BELOW EXISTING TREES TO PREPARE SOILS FOR PERENNIAL AND GROUND COVER PLANTING. LOOSEN SOILS TO DEPTH OF 6", TOPDRESS WITH 1/2" COMPOST BEFORE PLANTING.	NONE.	329113 - SOIL PREPARATION

01 L001 SITE SOILS SCHEDULE

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100% CONSTRUCTION DRAWINGS

GORMAN PARK

ST. PETER, MINNESOTA

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Name: Thomas Whitlock
Registration#: 26292
Signature / Date: 12/24/2024

100% CD SET: 12/24/2024
DF/ Project #: 22-150
Scale: PER SHEET
Drawn/Checked: AG / RP / JR / JM

REVISION: –

SITE MATERIALS SCHEDULE

L001

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	
CONIFEROUS TREES							
	LL2	1	LARIX LARICINA	TAMARACK	8` HT.	B&B	
	PB	3	PICEA GLAUCA DENSATA	BLACK HILLS SPRUCE	8` HT.	B&B	
	PS	1	PINUS STROBUS	WHITE PINE	10` HT.	B&B	
DECIDUOUS TREES							
	AW	3	ACER RUBRUM `NEW WORLD`	NEW WORLD RED MAPLE	2.5" CAL.	B&B	
	AS2	1	ACER SACCHARINUM	SILVER MAPLE	3" CAL.	B&B	
	AU2	2	ACER SACCHARUM 'JEFCAN'	UNITY® SUGAR MAPLE	2.5" CAL.	B&B	
	AM3	3	ACER SACCHARUM 'MORTON'	CRESCENDO™ SUGAR MAPLE	2.5" CAL.	B&B	
	CO	1	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2.5" CAL.	B&B	
	GI	5	GLEDITSIA TRIACANTHOS INERMIS `SKYCOLE` TM	SKYLINE THORNLESS HONEY LOCUST	3" CAL.	B&B	
	PD	1	POPULUS DELTOIDES 'SIOUXLAND'	EASTERN COTTONWOOD SIOUXLAND	2.5" CAL.	B&B	
	PT	9	POPULUS TREMULOIDES	QUAKING ASPEN	2" CAL.	B&B	
	QB	6	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5" CAL.	B&B	
	QE	4	QUERCUS ELLIPSOIDALIS	NORTHERN PIN OAK	3" CAL.	B&B	
	QR	3	QUERCUS RUBRA	NORTHERN RED OAK	3" CAL.	B&B	
	TB	1	TILIA AMERICANA `BOULEVARD`	BOULEVARD LINDEN	2.5" CAL.	B&B	
ORNAMENTAL TREES							
	AA	1	AMELANCHIER X GRANDIFLORA	APPLE SERVICEBERRY	8` HT. MULTI-STEM	B&B	
	CA	1	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	8` HT. MULTI-STEM	B&B	
	MP	2	MALUS X 'PRAIRIFIRE'	PRAIRIFIRE CRABAPPLE	2" CAL.	B&B	
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING
SHRUBS							
	AO	8	AMELANCHIER ALNIFOLIA 'OBELISK'	STANDING OVATION™ SERVICEBERRY	10 GAL	CONT.	48" o.c.
	AM	29	ARONIA MELANOCARPA `MORTON` TM	IROQUIS BEAUTY BLACK CHOKEBERRY	5 GAL	CONT.	48" o.c.
	AU	10	ARONIA MELANOCARPA `UCONNAM165` TM	LOW SCAPE MOUND CHOKEBERRY	5 GAL	CONT.	36" o.c.
	BA2	44	BAPTISIA ALBA	WHITE WILD INDIGO	#1	CONT.	30" o.c.
	CSF	5	CORNUS SERICEA `FARROW`	ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL	CONT.	48" o.c.
	DL	34	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	2 GAL	CONT.	36" o.c.
	HAN	19	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	5 GAL	CONT.	60" o.c.
	JO	5	JUNIPERUS VIRGINIANA `GREY OWL`	GREY OWL JUNIPER	5 GAL	CONT	48" o.c.
	MS	39	MATTEUCCIA STRUTHIOPTERIS	OSTRICH FERN	1 GAL	CONT.	30" o.c.
	PL	11	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL'	LITTLE DEVIL™ DWARF NINEBARK	1 GAL	CONT.	36" o.c.
		9	EXISTING SHRUB TO REMAIN				
GRASSES AND GRASS AREAS							
	ARO	23	ANDROPOGON GERARDII 'RED OCTOBER'	RED OCTOBER BIG BLUESTEM	1 GAL	CONT.	36" o.c.
	DT	115	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	1 GAL	CONT.	18" o.c.
	PN	13	PANICUM VIRGATUM `NORTH WIND`	NORTHWIND SWITCH GRASS	1 GAL	CONT.	24" o.c.

01 L002 SITE PLANTING SCHEDULE

SHRUB, PERENNIAL, AND GRASS MIXES								
		8,467 SF	UNDERSTORY PLANTING MIX 1: LOW					GROUPINGS OF COMPATIBLE SPECIES PLANTING ORGANIZATION- GROUND COVER PLANTING INTERPLANTED WITH UNDERSTORY PLANTING MIX 2 `DRIFTS` THROUGHOUT. PART SHADE TO PART SUN PLANTING, MED-DRY SOILS.
	AS4	196	ALLIUM X 'SUMMER BEAUTY'	SUMMER BEAUTY ORNAMENTAL ONION	4"	CONT	18" o.c.	
	AC3	282	ANEMONE CANADENSIS	CANADIAN ANEMONE	4"	CONT	15" o.c.	
	CP3	220	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	CONT	24" o.c.	
	DT2	440	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	1 GAL	CONT	24" o.c.	
	EM2	27	EURYBIA MACROPHYLLA	BIGLEAF ASTER	1 GAL	CONT	48" o.c.	
	KM2	390	KOELERIA MACRANTHA	PRAIRIE JUNEGRASS	1 GAL	CONT	18" o.c.	
	SHE	878	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	1 GAL	CONT	24" o.c.	
	SO5	282	SYMPHYOTRICHUM OBLONGIFOLIUM 'OCTOBER SKIES'	OCTOBER SKIES FALL ASTER	1 GAL	CONT	15" o.c.	
		425 SF	UNDERSTORY PLANTING MIX 2: DRIFTS 24"+ HEIGHT					PERENNIAL `DRIFTS` CONSISTING OF 2-3 COMPATIBLE PERENNIAL SPECIES IN SWEEPING MASSES (APPROX. 50-100SF EA) INTERPLANTED THROUGHOUT GROUND COVER PLANTING. PART SHADE TO PART SUN PLANTING, MED-DRY SOILS.
	LS	33	LOBELIA SPICATA	PALESPIKE LOBELIA	4"	CONT.	24" o.c.	
	CG	33	CHELONE GLABRA	WHITE TURTLE-HEAD	4"	CONT	24" o.c.	
	ML2	43	MONARDA DIDYMA 'GRAPE GUMBALL'	GRAPE GUMBALL BEE BALM	4"	CONT	24" o.c.	
		903 SF	LANDSCAPE MIX 1: LOW BROADLEAF GREEN					FORMAL ORGANIZATION WITH MASSES OF SINGLE SPECIES (IN GROUPING OF 3, 6 AND 9) AND MIXED PERENNIALS. PART SHADE TO FULL SUN. MED-DRY SOILS
	HR	90	HEUCHERA RICHARDSONII	PRAIRIE ALUM ROOT	4"	CONT.	15" o.c.	
	TE	9	TAXUS X MEDIA `EVERLOW`	EVERLOW YEW	2 GAL	CONT.	48" o.c.	
	AC2	151	ASARUM CANADENSE	CANADIAN WILD GINGER	4"	CONT	15" o.c.	
	CS2	120	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	4"	CONT	15" o.c.	
	DTF	59	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	1 GAL	CONT	24" o.c.	
		1,121 SF	PERENNIAL PLANTING MIX 1: FEATURE PLANTING					PLANT PERENNIALS IN SINGLE SPECIES SWEEPING MASSES OF 9-15 PLANTS FOR LEGIBILITY. FULL SUN, DRY TO MED-DRY SOILS.
	RH	58	RUDBECKIA HIRTA	BLACK-EYED SUSAN	1 GAL	CONT.	24" o.c.	
	AF	104	AGASTACHE X `BLUE FORTUNE`	BLUE FORTUNE ANISE HYSSOP	4"	CONT	18" o.c.	
	AS	43	ALLIUM STELLATUM	PRAIRIE ONION	1 GAL	CONT	24" o.c.	
	SH3	72	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	1 GAL	CONT	24" o.c.	
	SP	103	SYMPHYOTRICHUM NOVAE-ANGLIAE `PURPLE DOME`	NEW ENGLAND ASTER	4"	CONT	18" o.c.	
GROUND COVERS AND GROUND COVER MIXES								
	TH	23,318 SF	TURF HYDROSEED	DROUGHT TOLERANT FESCUE BLEND	SEED	SEED		DROUGHT TOLERANT KENTUCKY BLUE/ FESCUE BLEND. SEE SPECIFICATIONS FOR SEED MIX COMPOSITION
		12,884 SF	MEADOW SEED MIX					NATIVE SEEDING WITH PERENNIAL PLUGS ENHANCEMENTS. PLUGS TO BE PLANTED IN MIXED SPECIES MASSES (50-100SF) AT SELECT LOCATIONS THROUGHOUT (25% OF PLANTING AREA). PART SHADE TO PART SUN, DRY TO MED-DRY SOILS.
	SM	192	NATIVE SEED MIX TYPE 1		SEED	SEED		BWSR URBAN PRAIRIE SEED MIX, MODIFIED FOR SHADE. SEED AT 12 LBS/ ACRE* - SEE SPECIFICATIONS FOR MIX COMPOSITION *SEED AT INCREASED SEEDING RATE TO SUPPORT SEED BANK CREATION. PROVIDE COVER CROP: SPRING SEEDING: OATS AT 25 LBS/AC, -FALL SEEDING (AUG 1 - OCT 15): WINTER WHEAT AT 25 LBS/
	AT	33	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	PLUG	PLUG	24" o.c.	
	BA	33	BAPTISIA ALBA	WHITE WILD INDIGO	PLUG	PLUG	24" o.c.	
	CP	33	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	PLUG	PLUG	24" o.c.	
	DP2	33	DALEA PURPUREA	PURPLE PRAIRIE CLOVER	PLUG	PLUG	24" o.c.	
	EP	33	ECHINACEA PALLIDA	PALE PURPLE CONEFLOWER	1 GAL	CONT.	24" o.c.	
	GM3	33	GERANIUM MACULATUM	SPOTTED GERANIUM	PLUG	PLUG	24" o.c.	
	LA2	33	LIATRIS ASPERA	ROUGH BLAZING STAR	PLUG	PLUG	24" o.c.	
	SH1	33	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	1 GAL	CONT.	24" o.c.	

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100%
CONSTRUCTION
DRAWINGS

GORMAN PARK

ST. PETER, MINNESOTA

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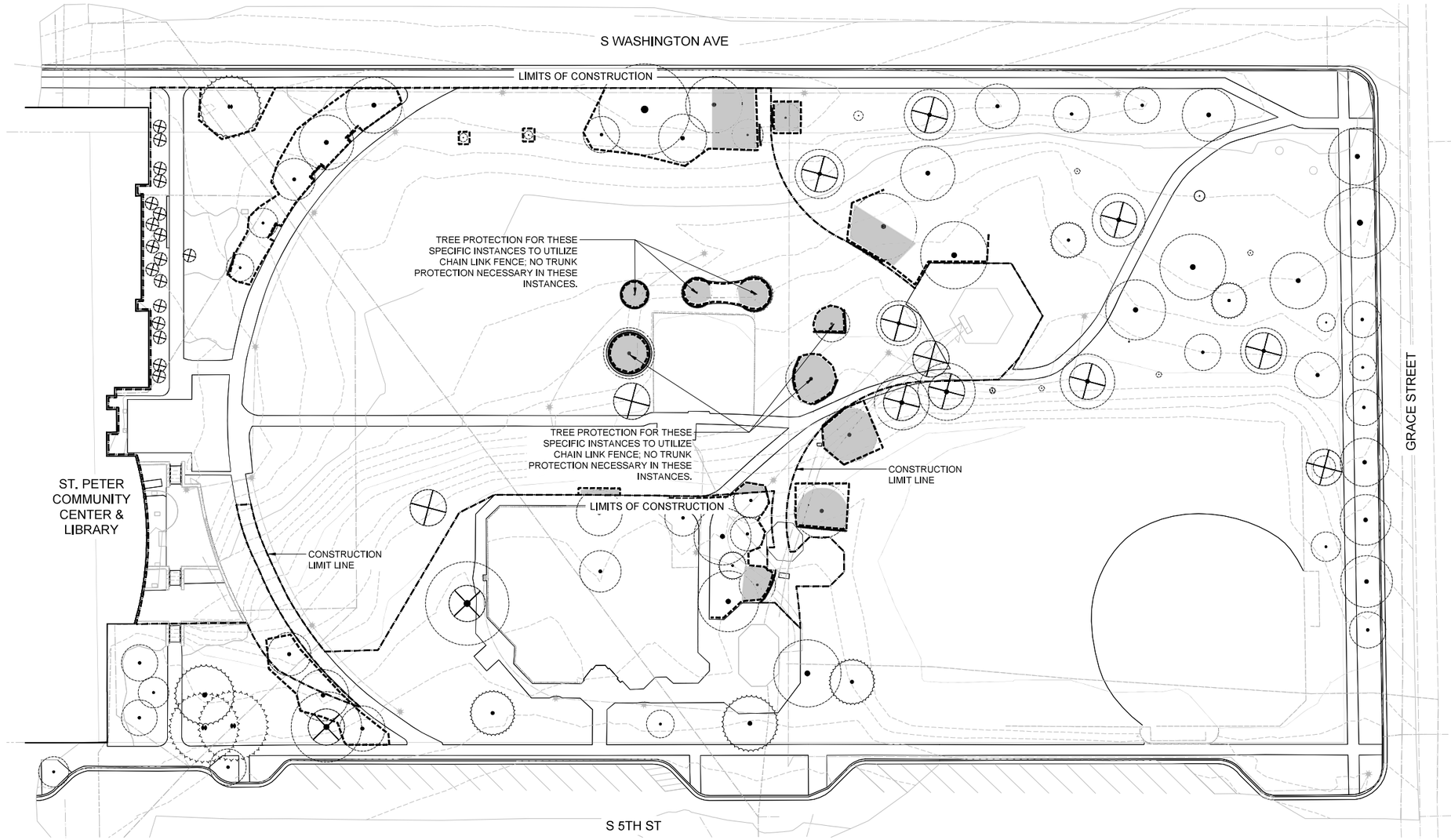
Name: Thomas Whitlock
Registration#: 26292
Signature: Tom Whitlock — Date: 12/24/2024

100% CD SET: 12/24/2024
DF/ Project #: 22-150
Scale: PER SHEET
Drawn/Checked: AG / RP / JR / JM

REVISION: –

SITE PLANTING SCHEDULE

L002



01 L010 TREE PROTECTION PLAN
1" = 30'-0"

0 30' 60' 90'
SCALE: 1"=30'

NORTH

LEGEND: TREE PROTECTION PLAN

- EXISTING TREE / SHRUB TO BE REMOVED, CLEAR AND GRUB STUMP/ROOTS
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE
- ROOT PRUNE
- ROOT PROTECTION ZONE
  - -HAND EXCAVATION ONLY
  - -PROVIDE 4" LAYER PROTECTIVE MULCH

TREE PRESERVATION NOTES

SITE SPECIFIC NOTES

1. ALL ASH TREES TO BE REMOVED FROM SITE. TREES TO BE CLEARED AND GRUBBED. STUMPS TO BE GROUND AT LEAST 18" BELOW GRADE.
2. IF CONSTRUCTION NECESSITATES ACCESS OR ADDITIONAL WORK BELOW DRIPLINES OF EXISTING TREES AND PROTECTION ZONES, CONTRACTOR SHALL OBTAIN PRIOR APPROVAL BY LANDSCAPE ARCHITECT AND PROVIDE TREE PROTECTION PLAN. INDICATE LOCATIONS AND TYPES OF PROTECTION MEASURES INCLUDING TRACK PADS, AND PERIOD OF DISTURBANCE.
3. CONTRACTOR TO COORDINATE SHRUB REMOVAL WITH LANDSCAPE ARCHITECT. SITE TO BE WALKED PRIOR TO DEMO AND REMOVAL TO ENSURE ALL SHRUBS FOR REMOVAL ARE LOCATED.

TREE PROTECTION

1. CONTRACTOR SHALL PRESERVE TREES SHOWN IN THE DRAWINGS TO BE PROTECTED AND PRESERVED. INSTALL TREE PROTECTION MEASURES PER DETAILS.
4. TREE PROTECTION MEASURES ARE TO BE INSTALLED PRIOR TO DEMOLITION AND SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD.
5. NO WORK SHALL OCCUR IN TREE PROTECTION ZONES.
6. CONTRACTOR SHALL TAKE EXTRA PRECAUTIONS TO MINIMIZE DAMAGE TO TREES WHERE WORK IS DESIGNATED TO OCCUR WITHIN AND ADJACENT TO THE DRIPLINE OF TREES. REFER TO TREE PROTECTION DETAILS FOR TREE PROTECTION FENCE, TRUNK PROTECTION, AND PRUNING PRACTICES.
   - 6.1. EXCAVATION WORK WITHIN DRIPLINE OF TREES SHALL BE LIMITED TO HAND REMOVAL, DIRECTIONAL BORING, AND AIR KNIFE ONLY TO MINIMIZE DAMAGE TO ROOT SYSTEMS. SEE SPECIFICATIONS FOR DIRECTIONAL BORING DEPTHS WITHIN DRIPLINE OF TREES.
   - 6.2. WHERE WORK IS TO OCCUR WITHIN DRIPLINE OF TREES, PROVIDE ROOT PRUNING AS CLEANLY CUT ROOTS PRIOR TO EXCAVATION OR TRENCHING ACTIVITIES. ROOT PRUNING TO BE PERFORMED BY ISA CERTIFIED ARBORIST FAMILIAR WITH ROOT PRUNING PRACTICES.
   - 6.3. PROTECT TRUNK AND BRANCHES FROM DAMAGE WHERE WORK IS DESIGNATED TO OCCUR WITHIN THE DRIPLINE OF TREES. PROVIDE TRUNK PROTECTION PER DETAILS.
7. CONTRACTOR SHALL NOT PLACE TEMPORARY STRUCTURES OR STORE MATERIALS IN TREE PROTECTION ZONES OR WITHIN THE DRIPLINE OF TREES.

ROOT PROTECTION

1. IN AREAS WHERE WORK OCCURS WITHIN DRIPLINE OF TREES AND IDENTIFIED AS ROOT PROTECTION ZONES, CONTRACTOR SHALL USE EXTRA PRECAUTION TO MINIMIZE DISTURBANCE TO ROOTS DURING CONSTRUCTION ACTIVITIES.
2. PROVIDE PROTECTIVE 4" ORGANIC WOOD MULCH LAYER IN ROOT PROTECTION ZONES AS INDICATED ON PLAN OR WHERE WORK OCCURS WITHIN DRIPLINE. PROVIDE CLEAN ROOT CUTTING, AND LOW-IMPACT EXCAVATION MEASURES WHERE WORK IS TO OCCUR IN ROOT PROTECTION ZONES.
3. CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT, OR PARK VEHICLES IN ROOT PROTECTION ZONES.

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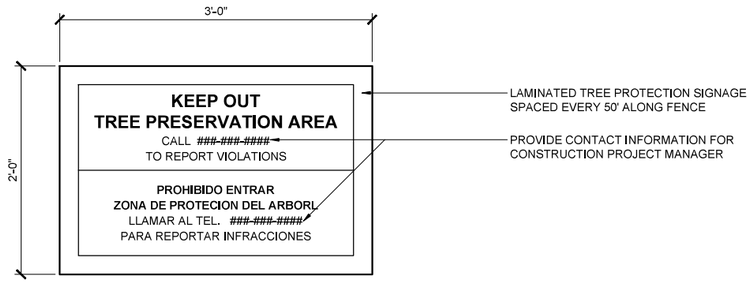
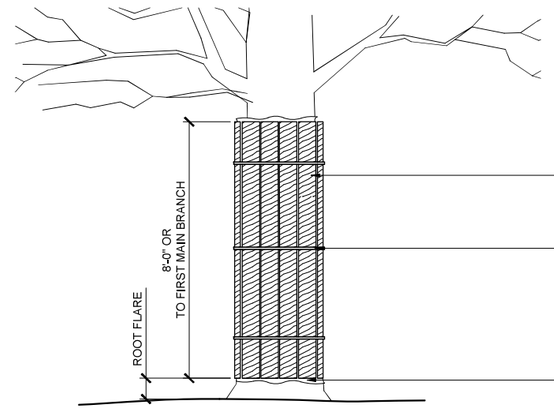
TREE PROTECTION PLAN

L010



4 DETAIL - TREE PROTECTION SIGNAGE

1 1/2" = 1'-0" P-22 150-69

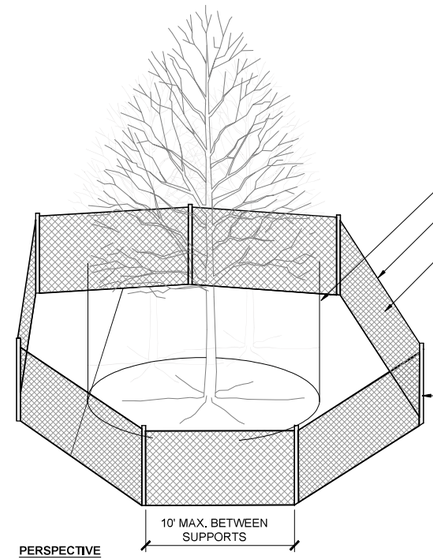


NOTES:
1. DO NOT FASTEN PLANKING DIRECTLY TO TREE TRUNK.

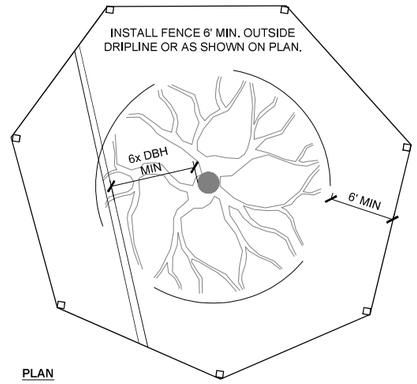
2. DO NOT INSTALL PLANKING ON ROOT FLARE.

3 TRUNK PROTECTION

1" = 1'-0" P-22 150-71



PERSPECTIVE



PLAN

2 DETAIL - TREE PROTECTION

1 1/2" = 1'-0" P-22 150-03

WHERE GROUP OF TREES IS TO BE PROTECTED, PROTECT TREES AS MASS WITHIN SINGLE FENCE. DO NOT PROTECT INDIVIDUALLY.

NOTES:
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO DEMOLITION AND SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD.TREE PROTECTION FENCING MAY BE RELOCATED AS NECESSARY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT.

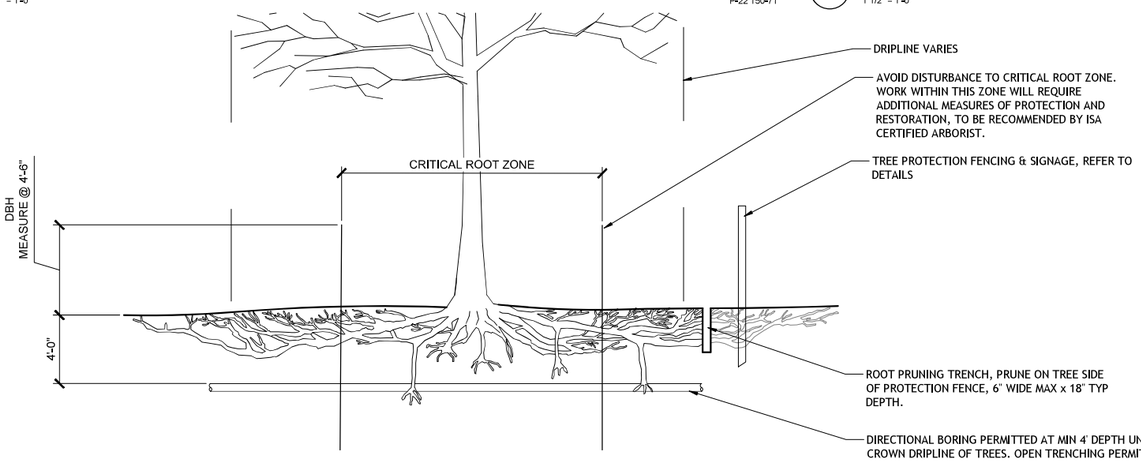
2. PLACE TREE PROTECTION WITHIN DRIPLINE WHEN FULL DRIPLINE PROTECTION IS NOT FEASIBLE DUE TO EXISTING PAVEMENT OR OTHER OBSTACLES.

3. IN LOCATIONS WHERE TREE PROTECTION FENCE CANNOT BE LOCATED 6' OUTSIDE DRIPLINE, PROVIDE CLEAN ROOT CUTTING, TRUNK PROTECTION, AND LOCATE FENCE ACCORDING TO PLANS.

4. CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR PARK VEHICLES IN TREE PROTECTION ZONES. THE FENCE SHALL PREVENT TRAFFIC MOVEMENT AND THE PLACEMENT OF TEMPORARY FACILITIES, EQUIPMENT, STOCKPILES AND SUPPLIES FROM HARMING VEGETATION WITHIN THE LIMITS OF PROTECTION.

5. WHERE WORK IS TO OCCUR IN TREE PROTECTION ZONES, PLACE 4" DEPTH ORGANIC WOOD MULCH WITHIN TREE PROTECTION FENCING FOR MOISTURE PRESERVATION WHERE EXISTING GROUND COVER IS DISTURBED.

6. NO PRUNING SHALL BE PERFORMED EXCEPT WHERE APPROVED BY APPROVED LANSDCAPE ARCHITECT AND PERFORMED BY ISA CERTIFIED ARBORIST.



1 ROOT PRUNING & DIRECTIONAL BORING DETAIL

1 1/2" = 1'-0" P-22 150-62

NOTES:
1. WHERE WORK IS TO OCCUR WITHIN THE DRIPLINE OF A TREE, CONTRACTOR TO USE AIR EXCAVATOR, DIRECTIONAL BORING, ROOT PRUNING, AND PRECAUTIONARY MEASURES AS DETAILED. ROOT PRUNING TO BE PERFORMED BY ISA CERTIFIED ARBORIST.

2. ROOT PRUNING SHALL BE DONE WITH A TRENCHER OR VIBRATORY PLOW TO A DEPTH OF 18". ROOTS OVER 1.5" DIA SHALL HAVE A CLEAN CUT MADE BY A CLEAN SAW ON SURFACE OF THE ROOT. DO NOT PAINT CUT ROOT ENDS.

3. FOR INSTALLATION OF UTILITIES WITHIN DRIPLINE OF TREE, LEAVE ROOTS IN TACT AND UTILIZE DIRECTIONAL BORING TO THREAD UTILITY LINES BENEATH.

4. ROOT PRUNING SHALL TAKE PLACE PRIOR TO CLEARING AND GRADING. STAKE LOCATIONS OF TREE PROTECTION PRIOR TO TRENCHING.

5. BACKFILL ROOT PRUNING TRENCHES WITH EXCAVATED SOIL AND MULCH. MARK LOCATIONS WITH STAKES FOR FUTURE REFERENCE. SILT FENCE MAY BE INSTALLED IN TRENCH PRIOR TO BACKFILLING AS LONG AS TRENCH IS NOT OPEN LONGER THAN 48HRS WITHOUT WATERING.

6. DO NOT PERFORM ROOT PRUNING WHEN SOIL IS WET OR WHEN TOP 1" OR MORE OF SOIL IS FROZEN.

7. AVOID DISTURBANCE WITHIN CRITICAL ROOT ZONE. CRITICAL ROOT ZONE SHALL BE MEASURED FROM TRUNK OUTWARD AND CALCULATED AS FOLLOWS:
   - DBH < 29.9" USE 1 FOOT RADIUS PER 1 INCH DBH, MIN 3' RADIUS
   - DBH > 30" USE 1.5 FOOT RADIUS PER 1 INCH DBH

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100% CONSTRUCTION DRAWINGS

GORMAN PARK

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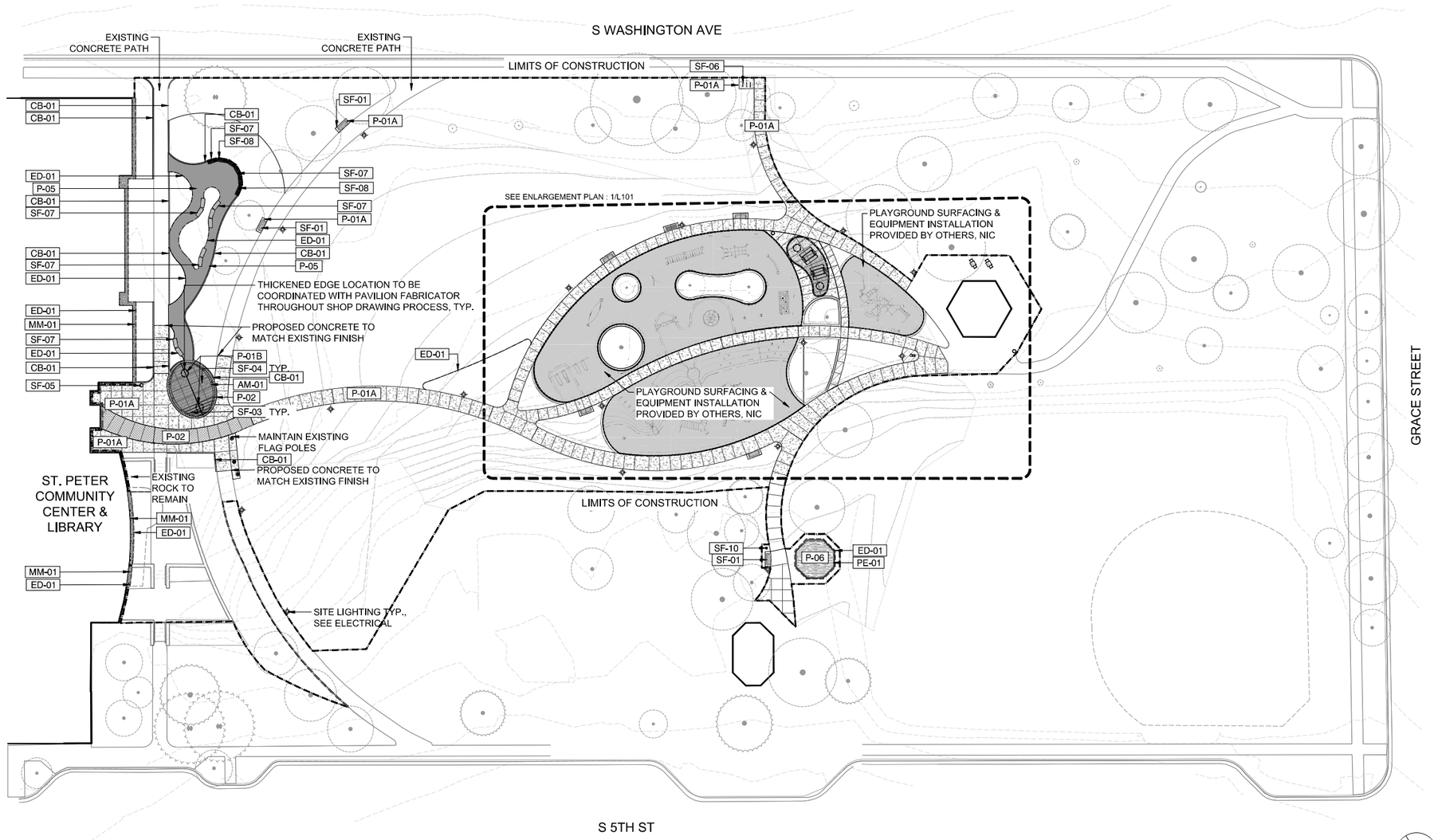
TREE PROTECTION DETAILS

L011



01 L100 SITE MATERIALS PLAN
1" = 30'-0"

SCALE: 1"=30'

NORTH

LEGEND: SITE MATERIALS PLAN

SYMBOL	CODE	DESCRIPTION
AMENITY		
	AM-01	SITE AMENITY TYPE 1 - COMMUNITY CENTER SHADE PAVILION
CURB		
	CB-01	CURB TYPE 1 - 6" CONCRETE
EDGING		
	ED-01	EDGING TYPE 1 - STEEL EDGER
MINERAL MULCH		
	MM-01	MINERAL MULCH TYPE 01 - MAINTENANCE STRIP

PAVING		
	P-01A	PAVING TYPE 01A - DECORATIVE CONCRETE PAVING
	P-01B	PAVING TYPE 01B - DECORATIVE CONCRETE PAVING THICKENED EDGE
	P-02	PAVING TYPE 02 - DECORATIVE CONCRETE PAVING
	P-05	PAVING TYPE 05 - DECOMPOSED GRANITE

SITE FURNITURE		
	SF-01	6' BACKED BENCH
	SF-03	PICNIC BENCH
	SF-04	PICNIC TABLE
	SF-05	RECEPTACLE
	SF-06	BIKE RACK
	SF-07	BENCH - LIMESTONE BLOCK BENCH
	SF-08	5' WOOD SLAT BENCH TOP - BACKLESS - TO BE INSTALLED IN FUTURE IMPROVEMENTS
BY OTHERS		
		SITE LIGHTING, TYP.; REFER TO ELECTRICAL

NOTES

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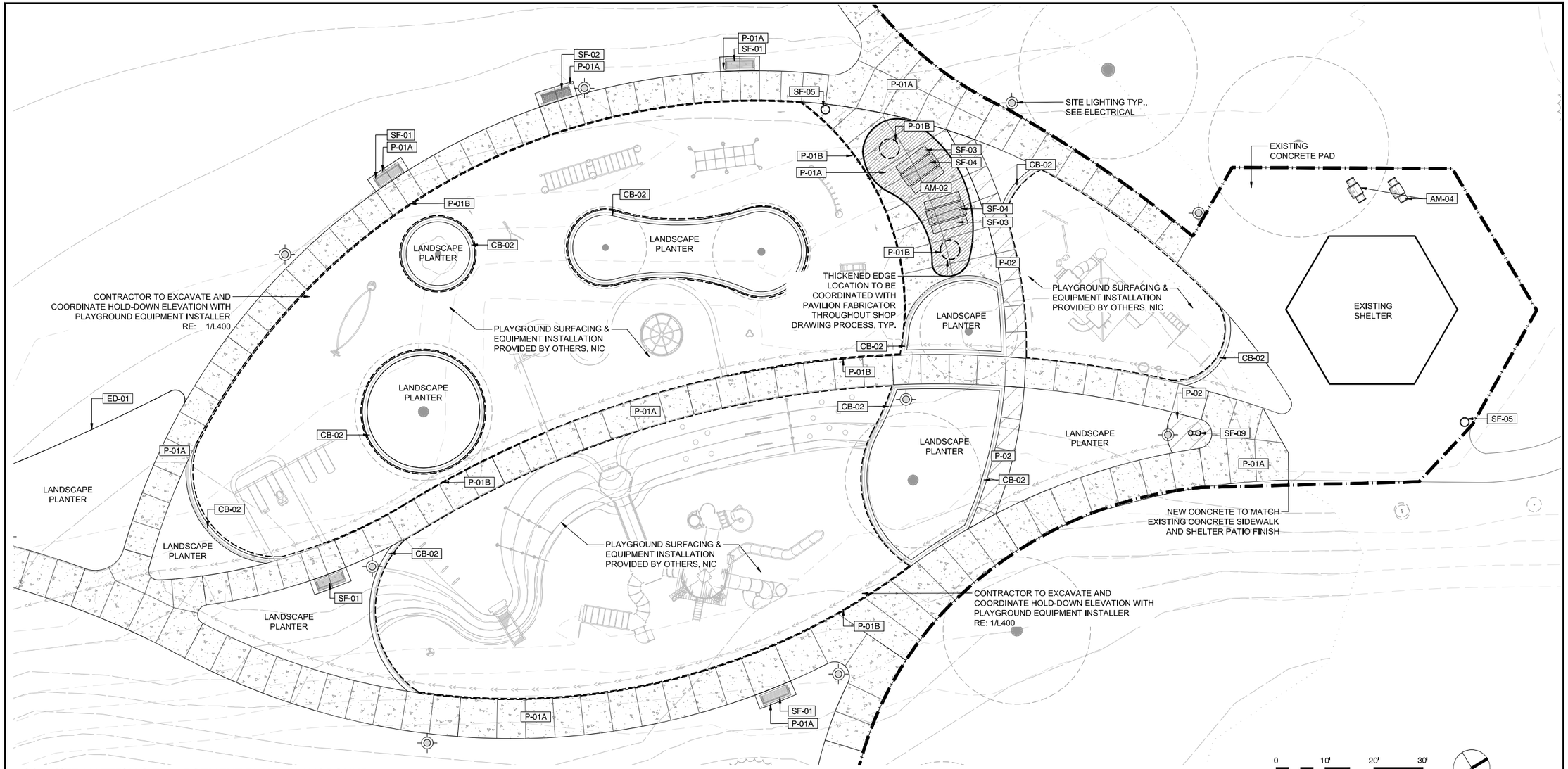
REVISION: –

SITE MATERIALS PLAN

L100



01 L101 SITE MATERIALS ENLARGEMENT PLAN - PLAYGROUND

1" = 10'-0"

SCALE: 1"=10'

NORTH

LEGEND: SITE MATERIALS ENLARGEMENT PLAN - PLAYGROUND

SYMBOL	CODE	DESCRIPTION
AMENITY		
	AM-02	SITE AMENITY TYPE 2 - PLAYGROUND SHADE PAVILION
	AM-04	SITE AMENITY TYPE 04 - EXISTING GRILL - RELOCATE
SYMBOL	CODE	DESCRIPTION
CURB		
	CB-02	CURB TYPE 2 - 12" CONCRETE
SYMBOL	CODE	DESCRIPTION
EDGING		
	ED-01	EDGING TYPE 1 - STEEL EDGER

PAVING		
	P-01A	PAVING TYPE 01A - DECORATIVE CONCRETE PAVING
	P-01B	PAVING TYPE 01B - DECORATIVE CONCRETE PAVING THICKENED EDGE
	P-02	PAVING TYPE 02 - DECORATIVE CONCRETE PAVING
SYMBOL	CODE	DESCRIPTION
SITE FURNITURE		
	SF-01	6' BACKED BENCH
	SF-02	6' BACKED BENCH, CENTER ARM
	SF-03	PICNIC BENCH
	SF-04	PICNIC TABLE
	SF-05	RECEPTACLE
	SF-09	SURFACE MOUNT DRINKING FOUNTAIN
BY OTHERS		
		SITE LIGHTING, TYP.; REFER TO ELECTRICAL

NOTES

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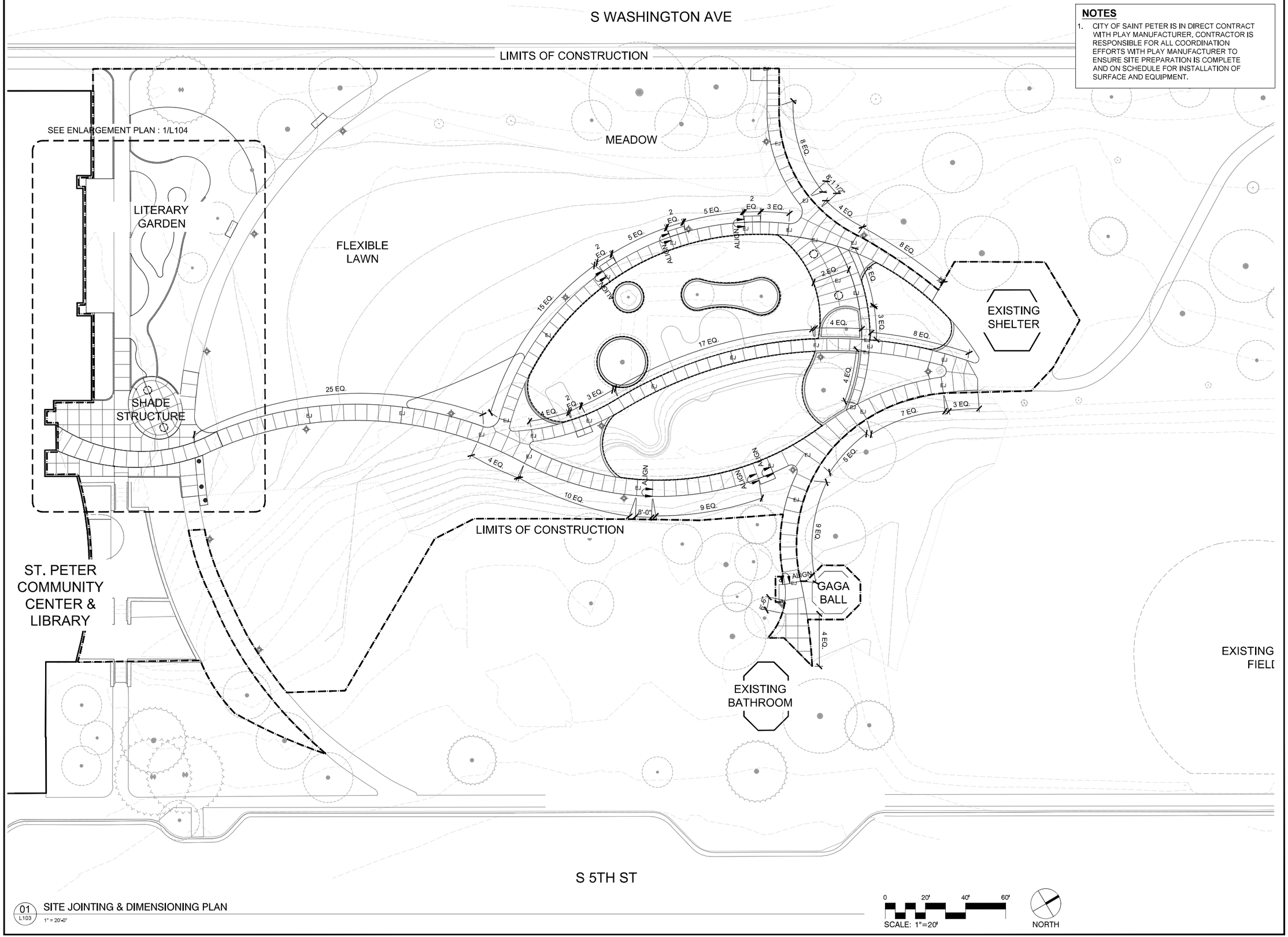
SITE MATERIALS ENLARGEMENT PLAN - PLAYGROUND

L101



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01 L103 SITE JOINTING & DIMENSIONING PLAN
1" = 20'-0"

0 20' 40' 60'
SCALE: 1"=20'

NORTH

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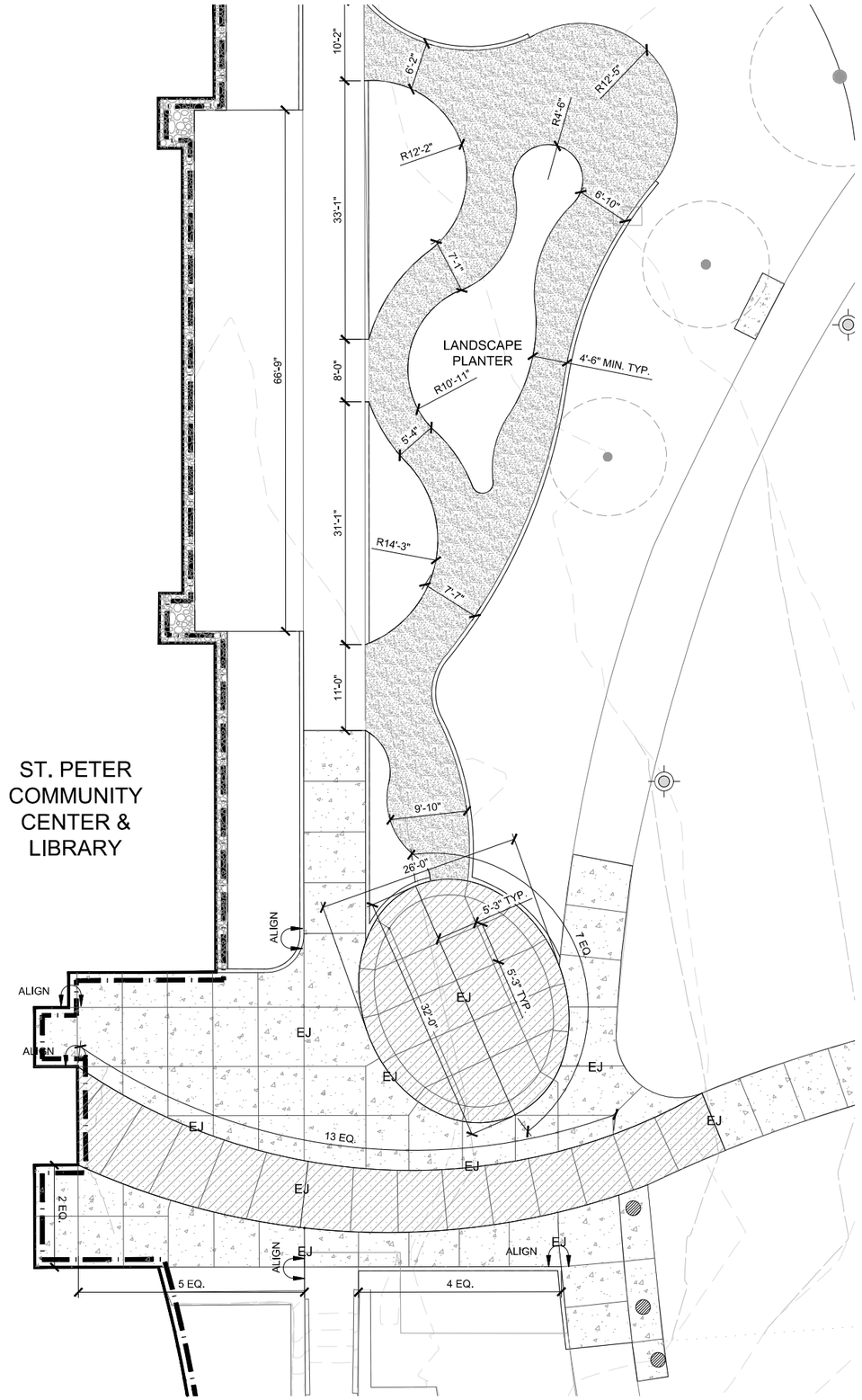
SITE JOINTING & DIMENSIONING PLAN

L103



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01 L104 SITE JOINTING & DIMENSIONING PLAN ENLARGEMENT - COMMUNITY CENTER ENTRANCE
1" = 8'-0"

SCALE: 1" = 8'
0 8 16 24

NORTH

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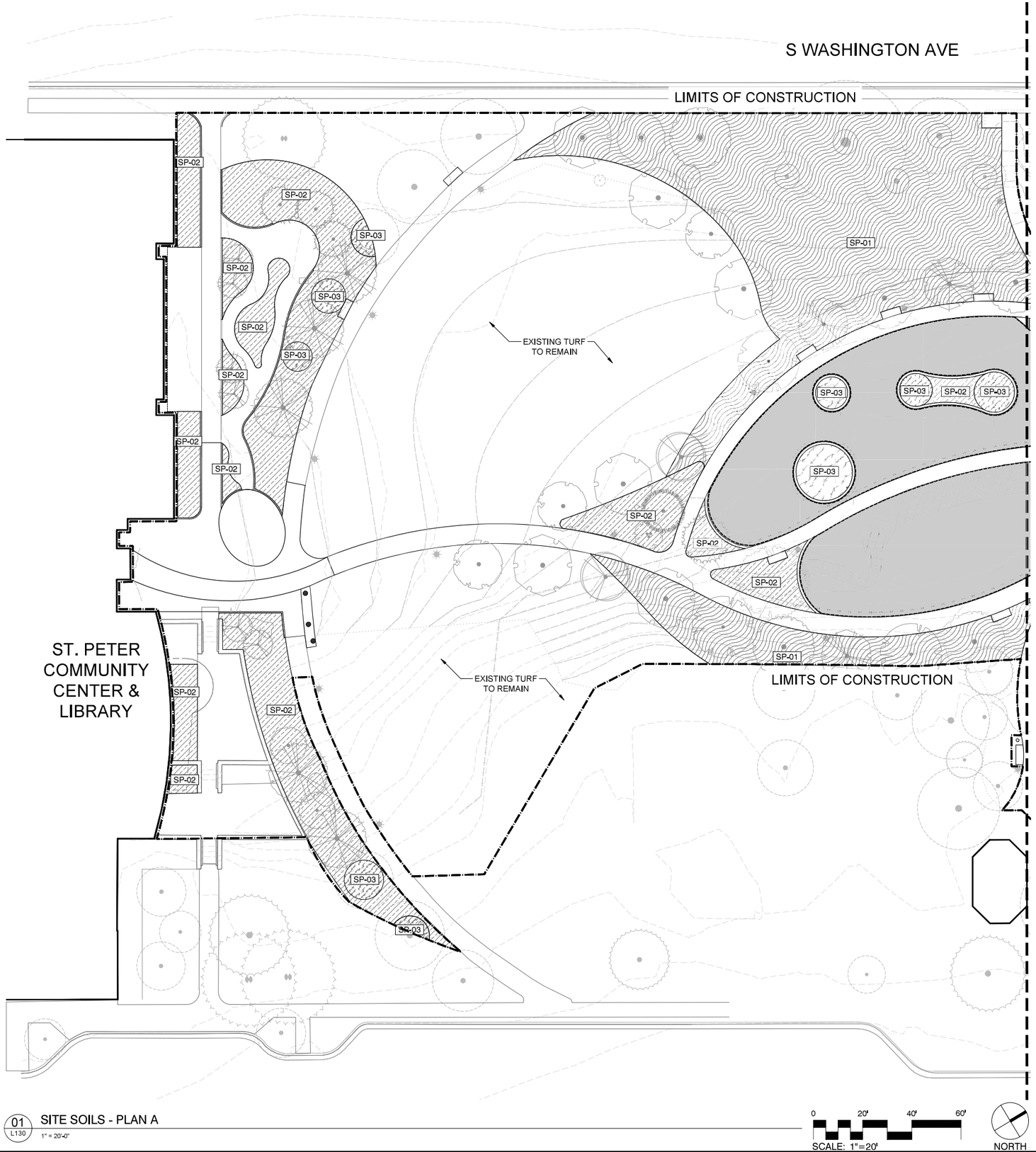
SITE JOINTING & DIMENSIONING PLAN ELARGEMENTS

L104



01 L130 SITE SOILS - PLAN A
1" = 20'-0"

LEGEND: SITE SOILS - PLAN A

SYMBOL	CODE	DESCRIPTION
SOIL PROFILE		
	SP-01	SOIL TYPE 01 - 6" EXISTING ON-SITE PLANTING SOIL-NATIVE/TURF AREAS
	SP-02	SOIL TYPE 02 - 18" EXISTING ON-SITE PLANTING SOILS, AMENDED - PERENNIAL AREAS
	SP-03	SOIL TYPE 03 - 6" IN-SITU AMENDED SOILS - AIR SPADE

NOTE:
1. WHERE USING IN-SITU SOILS AS PLANTING SOILS, RETAIN IN PLACE AND PROTECT EXISTING SOILS FROM COMPACTION AND CONSTRUCTION ACTIVITIES.

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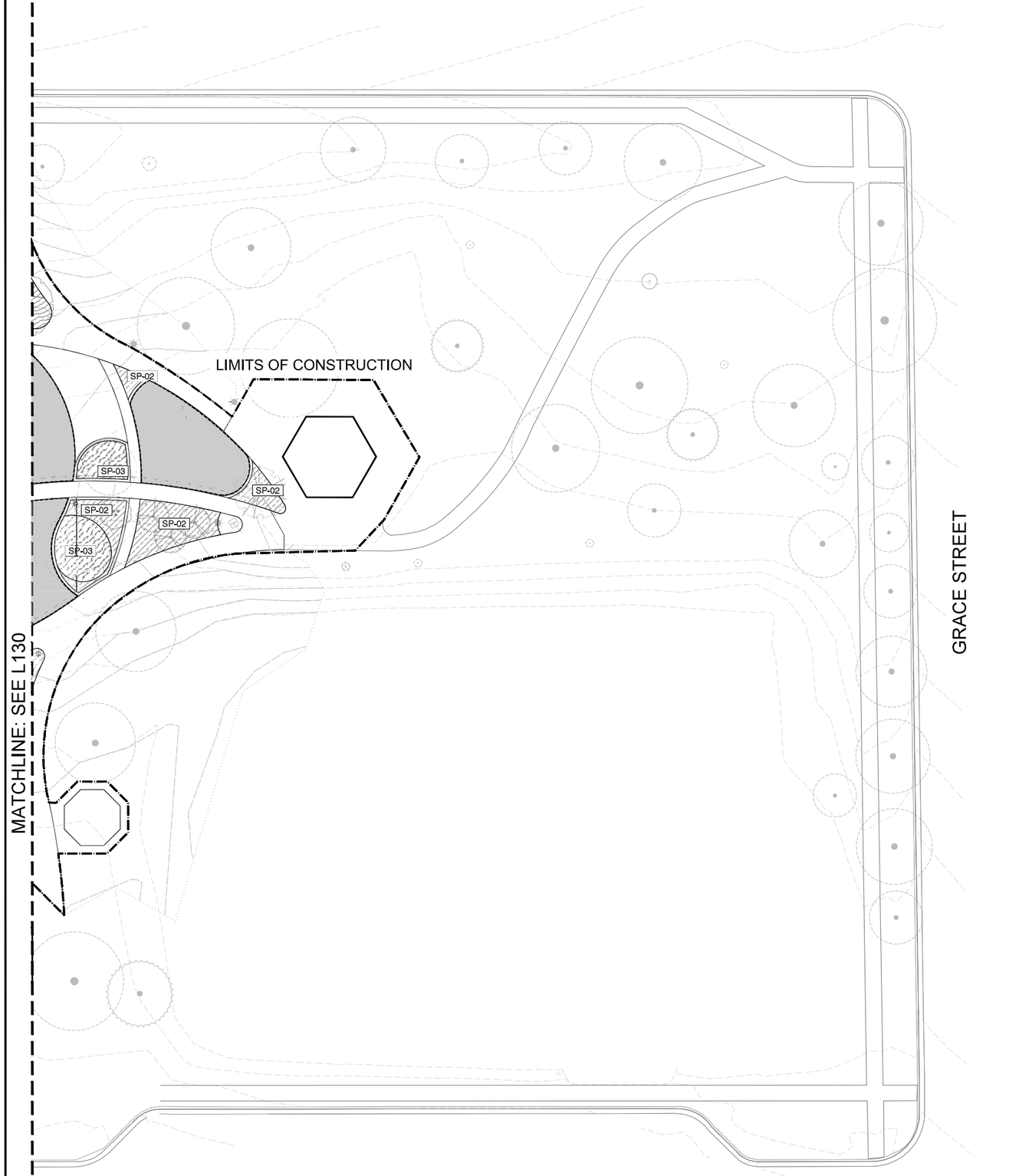
Name: Thomas Whitlock
Registration#: 26292
Signature / Date: 12/24/2024

100% CD SET: 12/24/2024
DF/ Project #: 22-150
Scale: PER SHEET
Drawn/Checked: AG / RP / JR / JM

REVISION: –

SITE SOILS - PLAN A

L130



01 L131 SITE SOILS - PLAN B
1" = 20'-0"

0 20' 40' 60'
SCALE: 1"=20'

NORTH

LEGEND: SITE SOILS - PLAN B

SYMBOL	CODE	DESCRIPTION
SOIL PROFILE		
	SP-01	SOIL TYPE 01 - 6" EXISTING ON-SITE PLANTING SOIL-NATIVE/TURF AREAS
	SP-02	SOIL TYPE 02 - 18" EXISTING ON-SITE PLANTING SOILS, AMENDED - PERENNIAL AREAS
	SP-03	SOIL TYPE 03 - 6" IN-SITU AMENDED SOILS - AIR SPADE

NOTE:
1. WHERE USING IN-SITU SOILS AS PLANTING SOILS, RETAIN IN PLACE AND PROTECT EXISTING SOILS FROM COMPACTION AND CONSTRUCTION ACTIVITIES.

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GORMAN PARK

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SITE SOILS - PLAN B

L131

01 L140 SITE TREE PLANTING PLAN
1" = 30'-0"

SCALE: 1"=30'

NORTH

LEGEND: SITE TREE PLANTING PLAN

SYMBOL	CODE	BOTANICAL / COMMON NAME
CONIFEROUS TREES		
	LL2	LARIX LARICINA TAMARACK
	PB	PICEA GLAUCA DENSATA BLACK HILLS SPRUCE
	PS	PINUS STROBUS WHITE PINE
DECIDUOUS TREES		
	AW	ACER RUBRUM `NEW WORLD` NEW WORLD RED MAPLE
	AS2	ACER SACCHARINUM SILVER MAPLE
	AU2	ACER SACCHARUM 'JEFCAN' UNITY® SUGAR MAPLE
	AM3	ACER SACCHARUM 'MORTON' CRESCENDO™ SUGAR MAPLE
	CO	CELTIS OCCIDENTALIS COMMON HACKBERRY
	GI	GLEDITSIA TRIACANTHOS INERMIS `SKYCOLE` TM SKYLINE THORNLESS HONEY LOCUST
	PD	POPULUS DELTOIDES 'SIOUXLAND' EASTERN COTTONWOOD SIOUXLAND
	PT	POPULUS TREMULOIDES QUAKING ASPEN
	QB	QUERCUS BICOLOR SWAMP WHITE OAK
	QE	QUERCUS ELLIPSOIDALIS NORTHERN PIN OAK
	QR	QUERCUS RUBRA NORTHERN RED OAK
	TB	TILIA AMERICANA `BOULEVARD` BOULEVARD LINDEN
ORNAMENTAL TREES		
	AA	AMELANCHIER X GRANDIFLORA APPLE SERVICEBERRY
	CA	CORNUS ALTERNIFOLIA PAGODA DOGWOOD
	MP	MALUS X 'PRAIRIFIRE' PRAIRIFIRE CRABAPPLE

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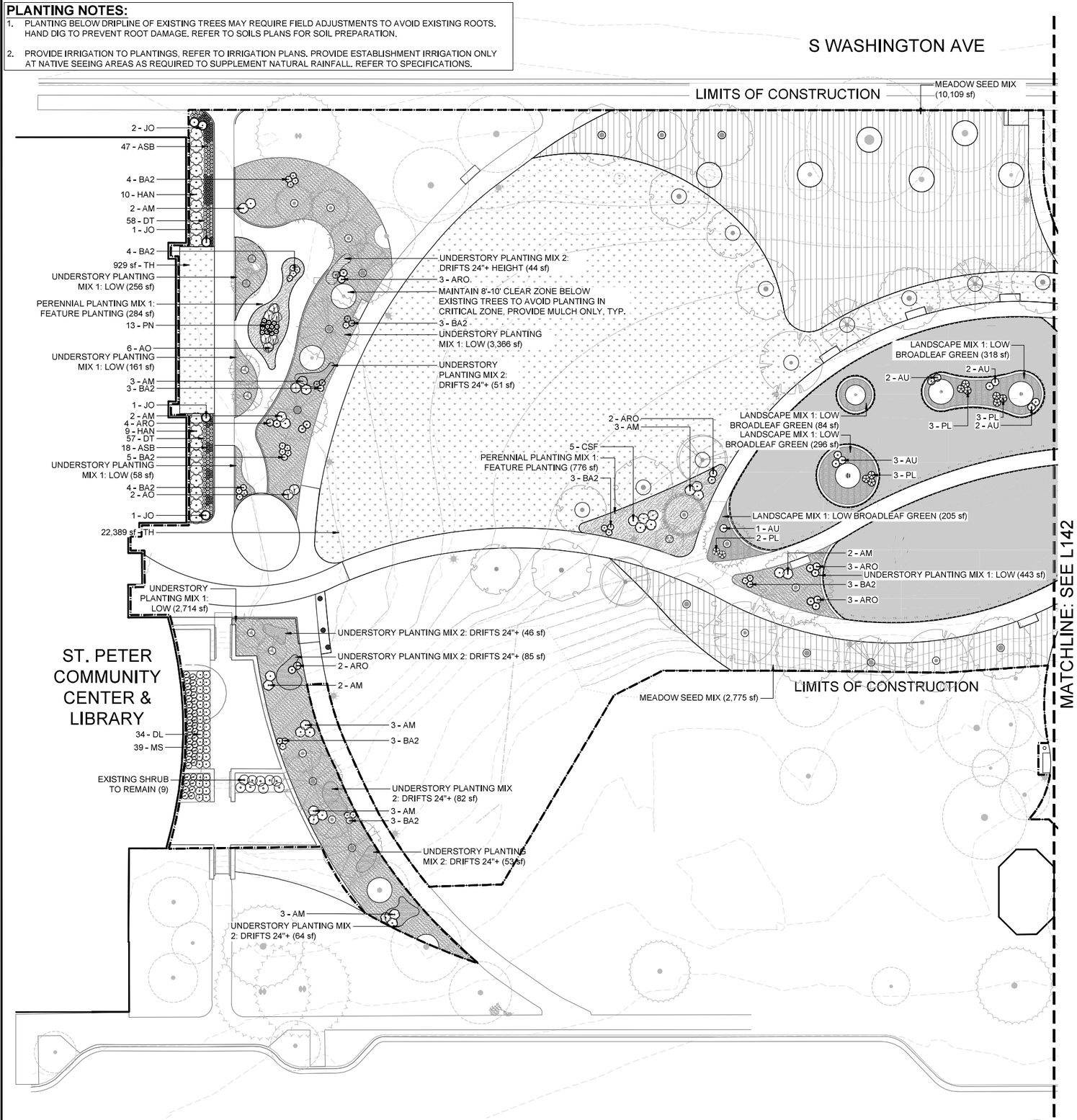
SITE TREE PLANTING PLAN

L140

PLANTING NOTES:

1. PLANTING BELOW DRIPLINE OF EXISTING TREES MAY REQUIRE FIELD ADJUSTMENTS TO AVOID EXISTING ROOTS. HAND DIG TO PREVENT ROOT DAMAGE. REFER TO SOILS PLANS FOR SOIL PREPARATION.
2. PROVIDE IRRIGATION TO PLANTINGS. REFER TO IRRIGATION PLANS. PROVIDE ESTABLISHMENT IRRIGATION ONLY AT NATIVE SEEING AREAS AS REQUIRED TO SUPPLEMENT NATURAL RAINFALL. REFER TO SPECIFICATIONS.



01 L141 SITE UNDERSTORY PLANTING - PLAN A
1" = 20'-0"

SCALE: 1"=20' (0, 20', 40', 60')

NORTH

LEGEND: SITE UNDERSTORY PLANTING - PLAN A

SYMBOL	CODE	BOTANICAL / COMMON NAME
SHRUBS		
	AO	AMELANCHIER ALNIFOLIA 'OBELISK' STANDING OVATION™ SERVICEBERRY
	AM	ARONIA MELANOCARPA 'MORTON' TM IROQUIS BEAUTY BLACK CHOKEBERRY
	AU	ARONIA MELANOCARPA 'UCONNAM165' TM LOW SCAPE MOUND CHOKEBERRY
	BA2	BAPTISIA ALBA WHITE WILD INDIGO
	CSF	CORNUS SERICEA 'FARROW' ARCTIC FIRE® RED TWIG DOGWOOD
	DL	DIERVILLA LONICERA DWARF BUSH HONEYSUCKLE
	HAN	HYDRANGEA ARBORESCENS 'ANNABELLE' ANNABELLE HYDRANGEA
	JO	JUNIPERUS VIRGINIANA 'GREY OWL' GREY OWL JUNIPER
	MS	MATTEUCCIA STRUTHIOPTERIS OSTRICH FERN
	PL	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' LITTLE DEVIL™ DWARF NINEBARK
		EXISTING SHRUB TO REMAIN
GRASSES		
	ARO	ANDROPOGON GERARDII 'RED OCTOBER' RED OCTOBER BIG BLUESTEM
	DT	DESCHAMPSIA CESPITOSA TUFTED HAIR GRASS
	PN	PANICUM VIRGATUM 'NORTH WIND' NORTHWIND SWITCH GRASS
PERENNIALS		
	ASB	ALLIUM X 'SUMMER BEAUTY' SUMMER BEAUTY ORNAMENTAL ONION
SHRUB, GRASS, AND PERENNIAL MIXES		
		UNDERSTORY PLANTING MIX 1: LOW
	AS4	ALLIUM X 'SUMMER BEAUTY' SUMMER BEAUTY ORNAMENTAL ONION
	AC3	ANEMONE CANADENSIS CANADIAN ANEMONE
	CP3	CAREX PENSYLVANICA PENNSYLVANIA SEDGE
	DT2	DESCHAMPSIA CESPITOSA TUFTED HAIR GRASS
	EM2	EURYBIA MACROPHYLLA BIGLEAF ASTER
	KM2	KOELERIA MACRANTHA PRAIRIE JUNEGRASS
	SHE	SPOROBOLUS HETEROLEPIS PRAIRIE DROPSEED
	SO5	SYMPHYOTRICHUM OBLONGIFOLIUM 'OCTOBER SKIES' OCTOBER SKIES FALL ASTER
		UNDERSTORY PLANTING MIX 2: DRIFTS 24"+ HEIGHT
	LS	LOBELIA SPICATA PALESPIKE LOBELIA
	CG	CHELONE GLABRA WHITE TURTLE-HEAD
	ML2	MONARDA DIDYMA 'GRAPE GUMBALL' GRAPE GUMBALL BEE BALM
		LANDSCAPE MIX 1: LOW BROADLEAF GREEN
	HR	HEUCHERA RICHARDSONII PRAIRIE ALUM ROOT
	TE	TAXUS X MEDIA 'EVERLOW' EVERLOW YEW
	AC2	ASARUM CANADENSE CANADIAN WILD GINGER
	CS2	CAREX PENSYLVANICA PENNSYLVANIA SEDGE
	DTF	DESCHAMPSIA CESPITOSA TUFTED HAIR GRASS
		PERENNIAL PLANTING MIX 1: FEATURE PLANTING
	RH	RUDBECKIA HIRTA BLACK-EYED SUSAN
	AF	AGASTACHE X 'BLUE FORTUNE' BLUE FORTUNE ANISE HYSSOP
	AS	ALLIUM STELLATUM PRAIRIE ONION
	SH3	SPOROBOLUS HETEROLEPIS PRAIRIE DROPSEED
	SP	SYMPHYOTRICHUM NOVAE-ANGLIAE 'PURPLE DOME' NEW ENGLAND ASTER
GROUND COVERS		
	TH	TURF HYDROSEED DROUGHT TOLERANT FESCUE BLEND
		MEADOW SEED MIX
	AT	ASCLEPIAS TUBEROSA BUTTERFLY MILKWEED
	BA	BAPTISIA ALBA WHITE WILD INDIGO
	CP	CAREX PENSYLVANICA PENNSYLVANIA SEDGE
	DP2	DALEA PURPUREA PURPLE PRAIRIE CLOVER
	EP	ECHINACEA PALLIDA PALE PURPLE CONEFLOWER
	GM3	GERANIUM MACULATUM SPOTTED GERANIUM
	LA2	LIATRIS ASPERA ROUGH BLAZING STAR
	SM	NATIVE SEED MIX TYPE 1
	SH1	SPOROBOLUS HETEROLEPIS PRAIRIE DROPSEED

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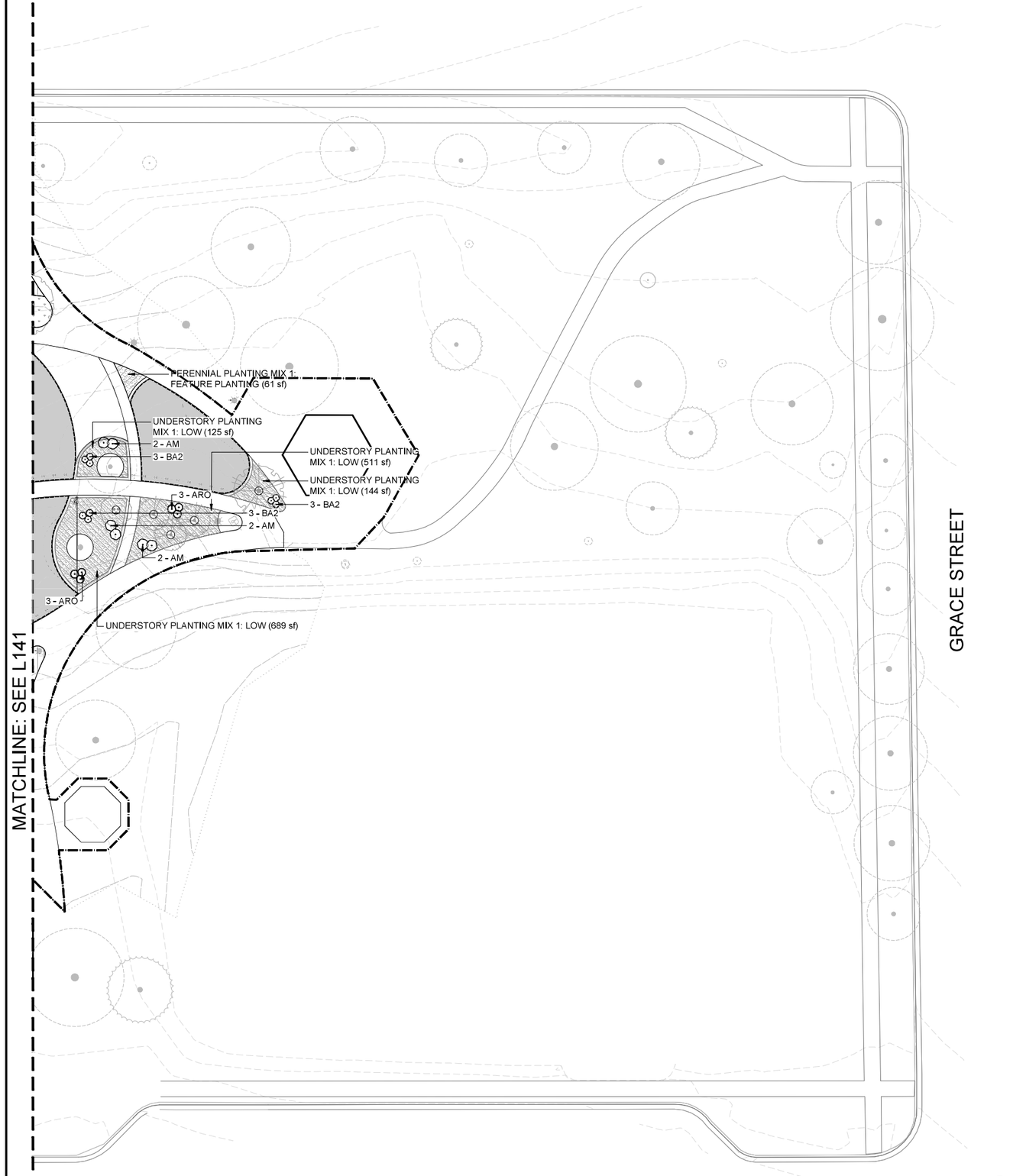
SITE UNDERSTORY PLANTING - PLAN A

L141



01 L142 SITE UNDERSTORY PLANTING - PLAN B
1" = 20'-0"

0 20' 40' 60'
SCALE: 1"=20'

NORTH

PLANTING NOTES:

1. PLANTING BELOW DRIPLINE OF EXISTING TREES MAY REQUIRE FIELD ADJUSTMENTS TO AVOID EXISTING ROOTS. HAND DIG TO PREVENT ROOT DAMAGE. REFER TO SOILS PLANS FOR SOIL PREPARATION.
2. PROVIDE IRRIGATION TO PLANTINGS, REFER TO IRRIGATION PLANS. PROVIDE ESTABLISHMENT IRRIGATION ONLY AT NATIVE SEEING AREAS AS REQUIRED TO SUPPLEMENT NATURAL RAINFALL. REFER TO SPECIFICATIONS.

LEGEND: SITE UNDERSTORY PLANTING - PLAN B

SYMBOL	CODE	BOTANICAL / COMMON NAME
SHRUBS		
	AM	ARONIA MELANOCARPA `MORTON` TM IROQUIS BEAUTY BLACK CHOKEBERRY
	BA2	BAPTISIA ALBA WHITE WILD INDIGO
GRASSES		
	ARO	ANDROPOGON GERARDII 'RED OCTOBER' RED OCTOBER BIG BLUESTEM
SHRUB, GRASS, AND PERENNIAL MIXES		
		UNDERSTORY PLANTING MIX 1: LOW
	AS4	ALLIUM X 'SUMMER BEAUTY' SUMMER BEAUTY ORNAMENTAL ONION
	AC3	ANEMONE CANADENSIS CANADIAN ANEMONE
	CP3	CAREX PENSYLVANICA PENNSYLVANIA SEDGE
	DT2	DESCHAMPSIA CESPITOSA TUFTED HAIR GRASS
	EM2	EURYBIA MACROPHYLLA BIGLEAF ASTER
	KM2	KOELERIA MACRANTHA PRAIRIE JUNEGRASS
	SHE	SPOROBOLUS HETEROLEPIS PRAIRIE DROPSEED
	SO5	SYMPHYOTRICHUM OBLONGIFOLIUM 'OCTOBER SKIES' OCTOBER SKIES FALL ASTER
		PERENNIAL PLANTING MIX 1: FEATURE PLANTING
	RH	RUDBECKIA HIRTA BLACK-EYED SUSAN
	AF	AGASTACHE X `BLUE FORTUNE` BLUE FORTUNE ANISE HYSSOP
	AS	ALLIUM STELLATUM PRAIRIE ONION
	SH3	SPOROBOLUS HETEROLEPIS PRAIRIE DROPSEED
	SP	SYMPHYOTRICHUM NOVAE-ANGLIAE `PURPLE DOME` NEW ENGLAND ASTER

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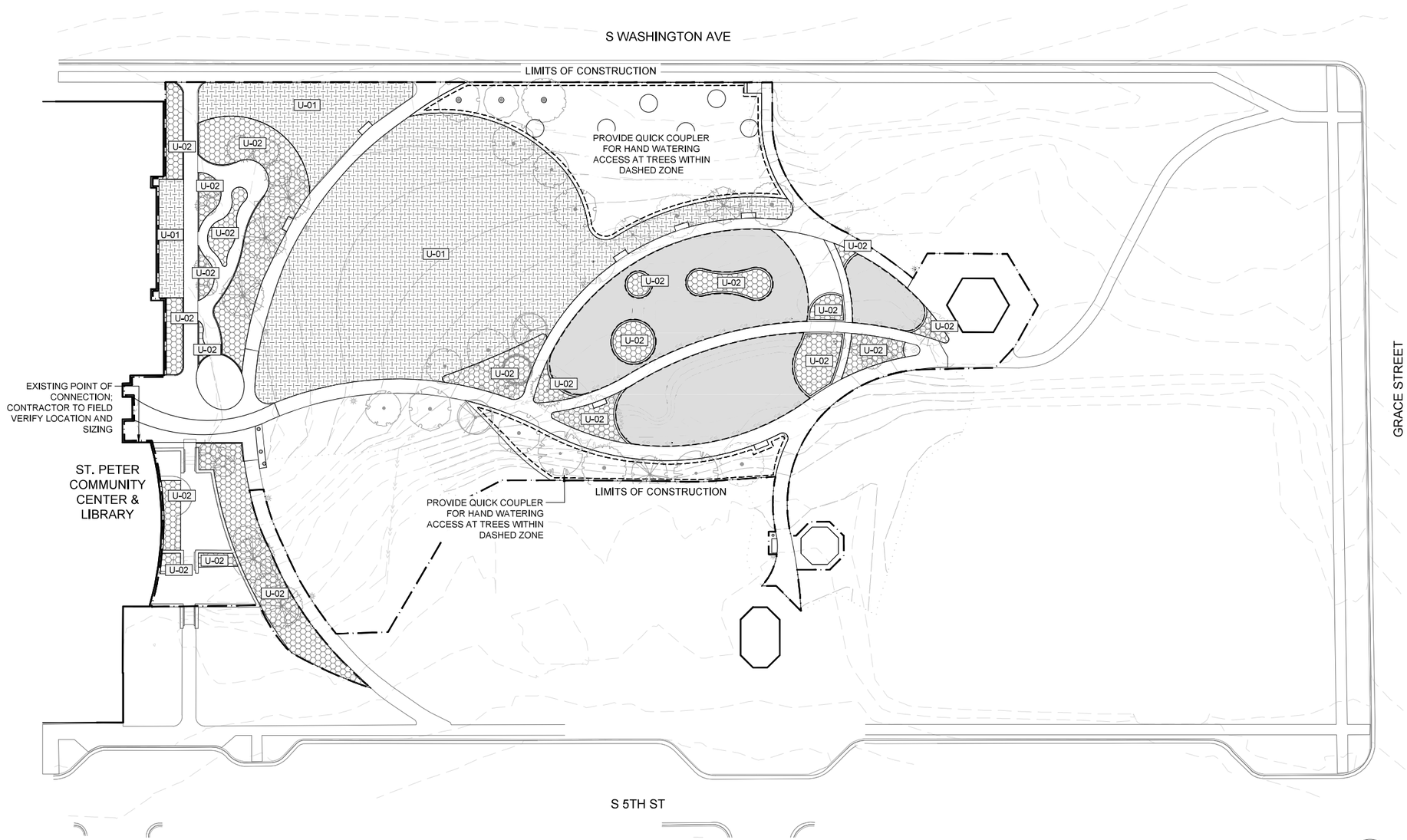
SITE UNDERSTORY PLANTING - PLAN B

L142



01 L150 SITE IRRIGATION PLAN
1" = 30'-0"

SCALE: 1"=30'

NORTH

LEGEND: SITE IRRIGATION PLAN

SYMBOL	CODE	DESCRIPTION
UTILITIES		
	U-01	IRRIGATION TYPE 01 - SPRAY / ROTATOR NOZZLE
	U-02	IRRIGATION TYPE 02 - DRIP IRRIGATION

IRRIGATION NOTES:

1. CONTRACTOR TO PROVIDE IRRIGATION SYSTEM DESIGN DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL. ALL SYSTEM COMPONENTS SHALL BE IDENTIFIED ON PLAN AND IN DETAIL. CONTRACTOR TO INCLUDE COVERAGE PLAN IN SUBMISSION.
2. PROVIDE QUICK COUPLERS FOR HAND WATERING ACCESS AT TREES IN MEADOW SEEDING AREAS.
3. DO NOT TRENCH IRRIGATION LINES THROUGH ROOT ZONES OF EXISTING TREES.
4. IRRIGATION ZONES TO BE ESTABLISHED BY BOTH PLANT TYPE AND SOLAR CONDITIONS.
5. EXISTING IRRIGATION SYSTEM TO BE REPLACED, INCLUDING CONTROLLER, SENSORS, AND LINES.
6. EXISTING BACKFLOW PREVENTER TO BE REUSED IN PROPOSED SYSTEM UNLESS PROPOSED SYSTEM NECESSITATES OTHERWISE. IN WHICH CASE, CONTRACTOR TO RECEIVE APPROVAL FROM CLIENT TO REPLACE BACKFLOW PREVENTER.
7. EXISTING IRRIGATION CONNECTION AT THE COMMUNITY CENTER BUILDING IS 1-1/2" DIAMETER AT SHUT OFF POINT, CONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR TO SYSTEM DESIGN.
8. EXISTING SUPPLY LINE TO RPZ IS 2" DIAMETER. EXISTING RPZ VALVE IS 1-1/2" DIAMETER, CONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR TO SYSTEM DESIGN.
9. CONTRACTOR TO REVIEW EXISTING SITE CONDITIONS THOROUGHLY AND PROVIDE WRITTEN DOCUMENTATION OF ANY POTENTIAL CONFLICTS IN PROPOSED SYSTEM PRIOR TO SYSTEM DESIGN PROPOSAL.

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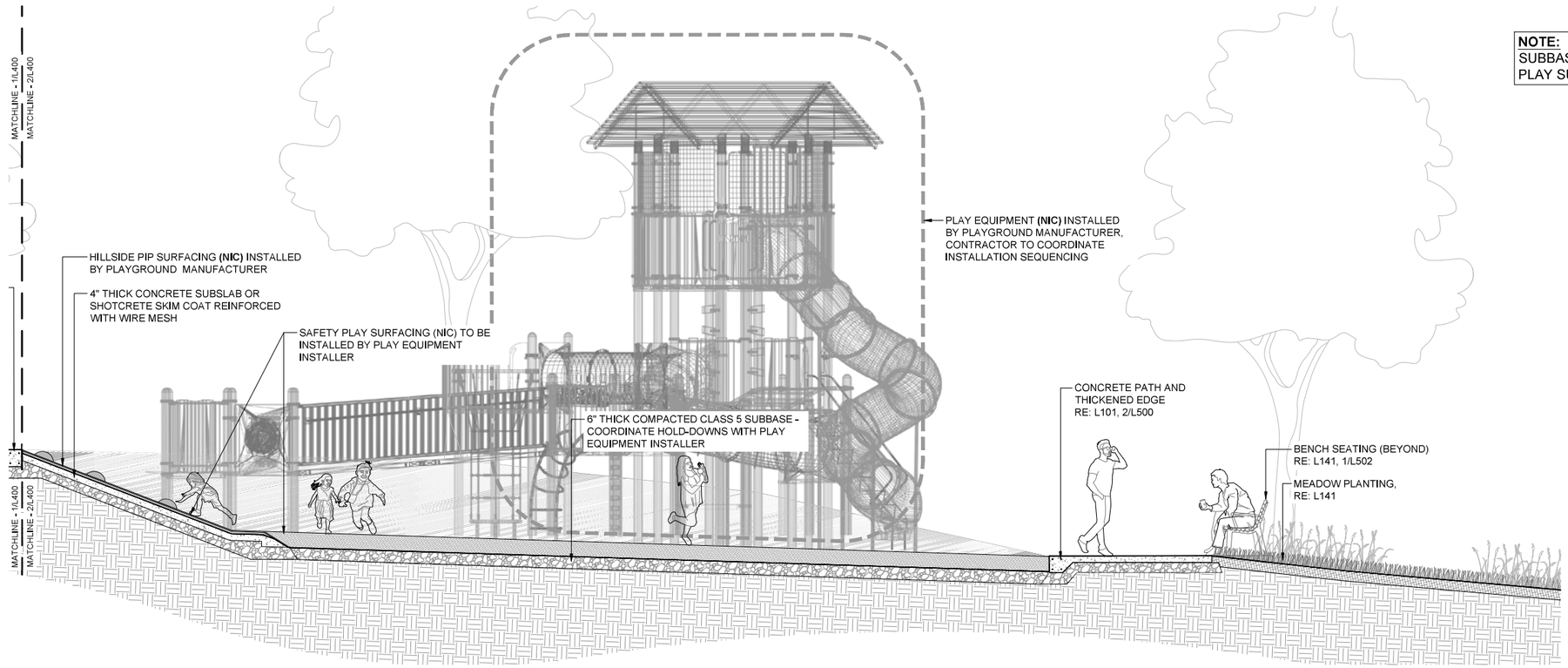
SITE IRRIGATION PLAN

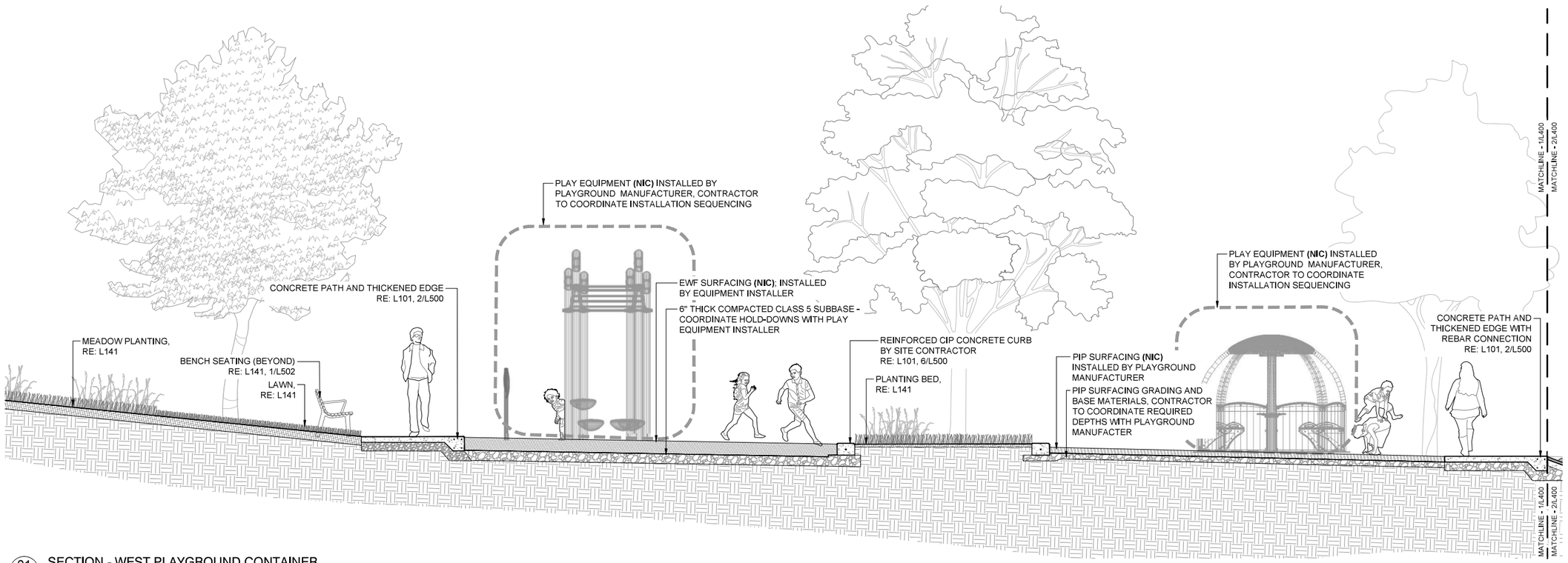
L150



02 L400 SECTION - EAST PLAYGROUND CONTAINER

1" = 3'-0"

NOTE:
SUBBASES AND SUBSLABS BY CONTRACTOR, SAFETY PLAY SURFACING BY PLAY EQUIPMENT INSTALLER



01 L000 SECTION - WEST PLAYGROUND CONTAINER

1" = 3'-0"

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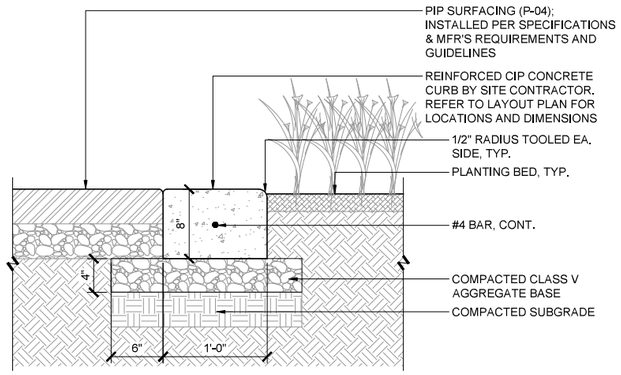
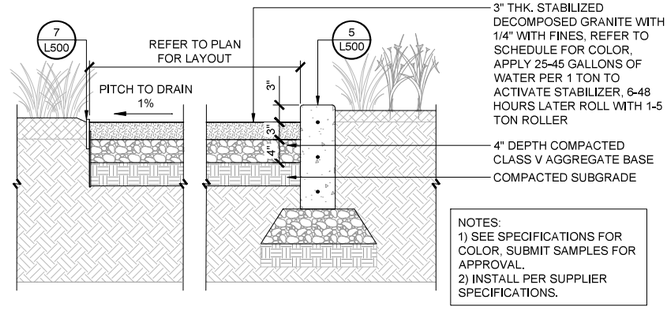
SITE SECTION - PLAYGROUND CONTAINERS

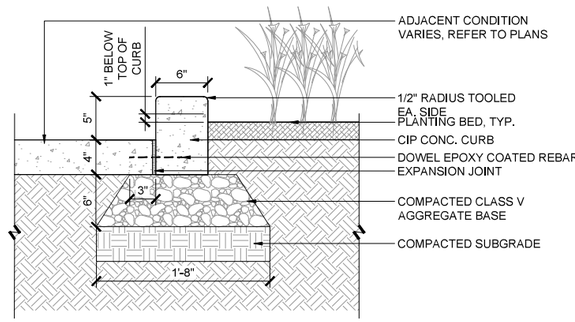
L400



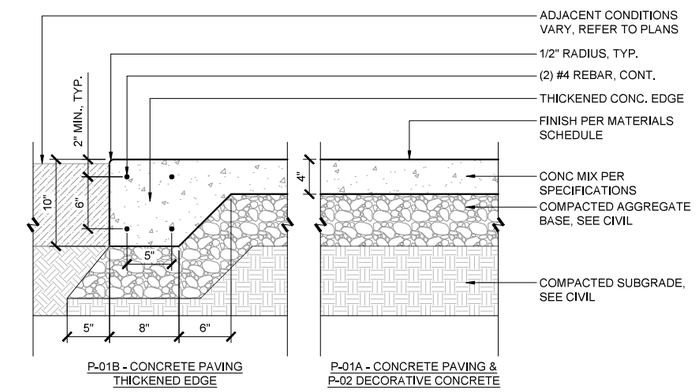
6 CURB TYPE 02 - 12" WIDTH CONC. CURB (CB-02)
1 1/2" = 1'-0" P-22 150-120



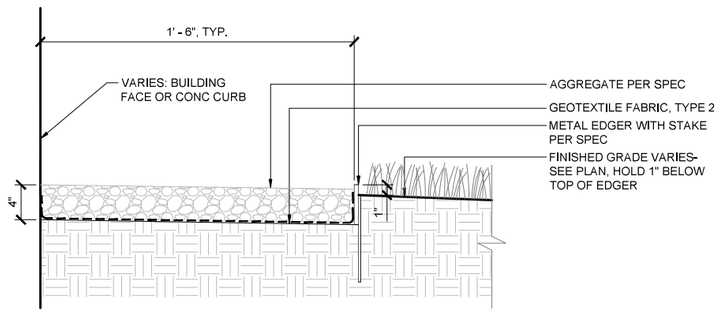
3 PAVING TYPE 03 - DECOMPOSED GRANITE PAVING (P-03)
1" = 1'-0" P-22 150-91



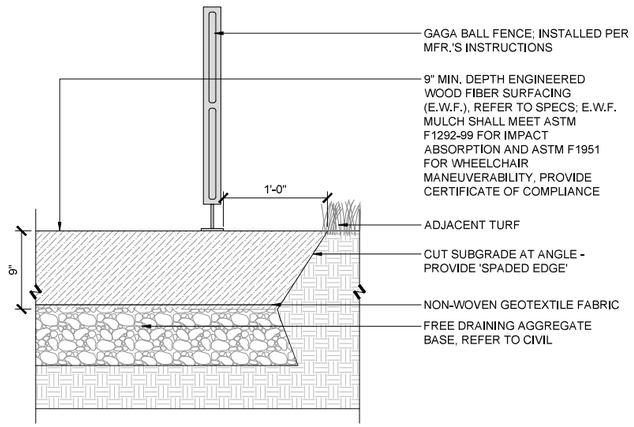
5 CURB TYPE 01 - 6" WIDTH CONC. CURB (CB-01)
1 1/2" = 1'-0" P-22 150-103



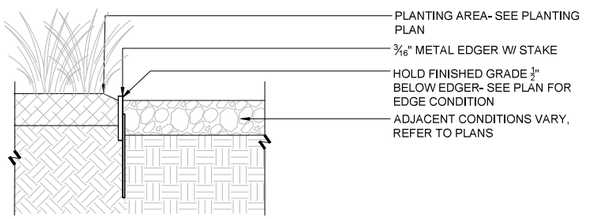
2 PAVING TYPE 01A & 01B- CONCRETE PAVING & THICKENED EDGE (P-01A, P-01B)
1 1/2" = 1'-0" P-22 184-11



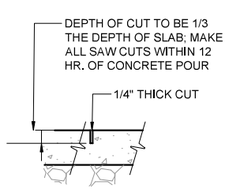
8 DETAIL - MINERAL MULCH MAINTENANCE STRIP (MM-01)
1 1/2" = 1'-0" P-22 150-23



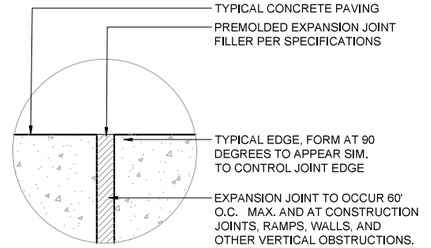
4 PAVING TYPE 06 - EWF SURFACING (P-06) AT GAGA BALL PIT
1 1/2" = 1'-0" P-22 150-94



7 EDGING TYPE 01 - STEEL EDGER (ED-01)
1 1/2" = 1'-0" P-22 150-89



TYPICAL SAWCUT CONTROL JOINT



TYPICAL EXPANSION JOINT - ENLARGED

1 DETAIL - TYPICAL CONCRETE JOINTING
NTS P-22 150-17

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GORMAN PARK

ST. PETER, MINNESOTA

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

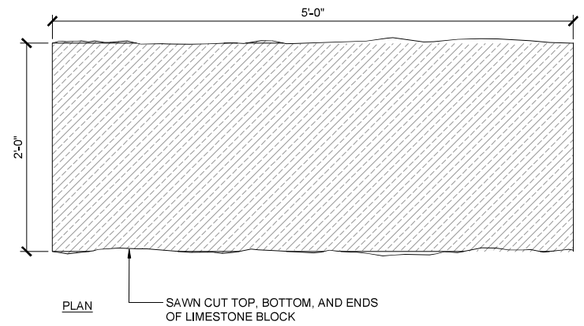
Name	Thomas Whitlock
Registration#	26292
Signature	12/24/2024
	Date

100% CD SET	12/24/2024
DF/ Project #	22-150
Scale	PER SHEET
Drawn/Checked	AG / RP / JR / JM
REVISION	–

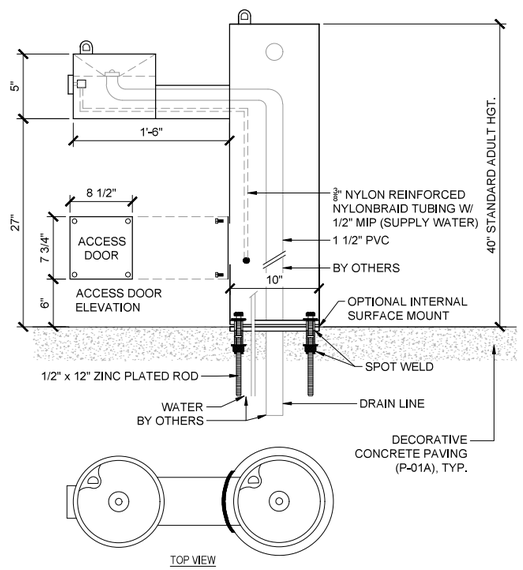
SITE DETAILS

L500

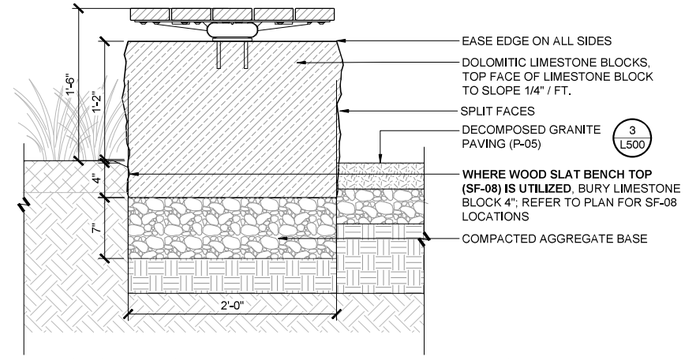
GENERAL NOTES:
1. ALL BLOCKS TO BE INSTALLED STABLE AND SECURELY AND SHALL NOT WOBBLE OR MOVE.
2. REFER TO PLANS FOR WALL LAYOUT
3. WOOD SLAT BENCH TOPS TO BE INSTALLED DURING A LATER DATE. REFER TO PLANS FOR WOOD SLAT BENCH TOP LOCATIONS.



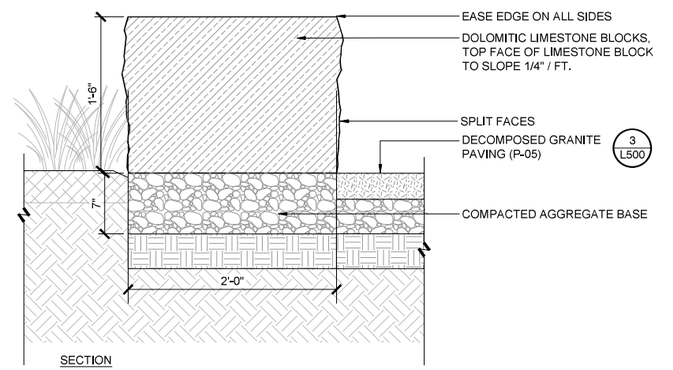
NOTES:
1. MEETS ADA REGULATIONS.
2. OPTIONAL STAINLESS STEEL SURFACE CARRIER RECOMMENDED.
3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
4. DO NOT SCALE DRAWING.
5. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY, THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
6. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
7. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 3354-1.5.



2 DETAIL - SURFACE MOUNT DRINKING FOUNTAIN (SF-09)
1 1/2" = 1'-0"



SECTION WITH FUTURE IMPROVEMENTS BENCH TOP - SEE L100 FOR SF-08 LOCATIONS



SECTION

1 LIMESTONE BLOCK BENCH (SF-07)
1 1/2" = 1'-0"

CITY OF SAINT PETER
227 South Front Street
Saint Peter, MN 56082
p: 507.934.4840

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NELSON-RUDIE & ASSOCIATES
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100% CONSTRUCTION DRAWINGS

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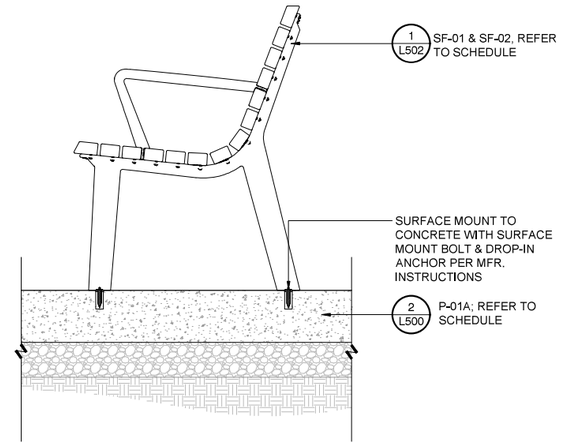
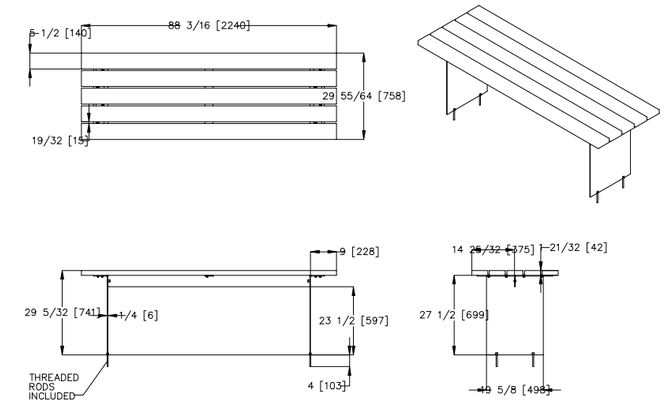
SITE DETAILS

L501



6 DETAIL - SURFACE MOUNTED BENCH (SF-01 & SF-02)

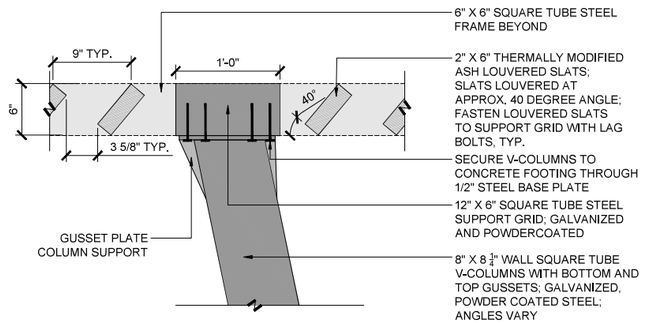
1 1/2" = 1'-0" P-22 150-106



3 SITE FURNISHING 04 - PICNIC TABLE (SF-04)

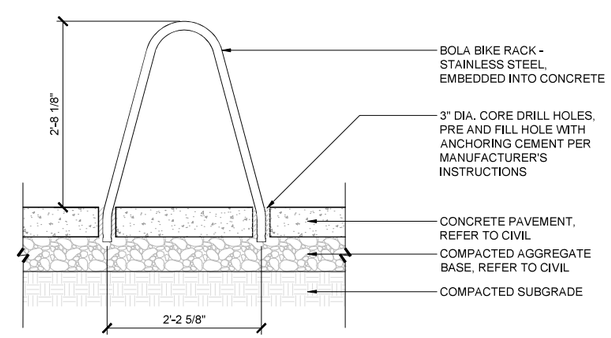
1/2" = 1'-0" P-22 150-102

NOTES:
1. REFER TO SHEET L503 FOR PAVILION DETAILS.
2. CONTRACTOR TO PRODUCE AND SUBMIT ENGINEERED SHOP DRAWINGS STAMPED BY A LICENSED STRUCTURAL ENGINEER FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.



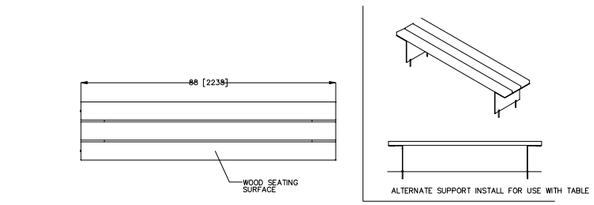
8 DETAIL - SHADE PAVILION V-COLUMN & SUPPORT GRID

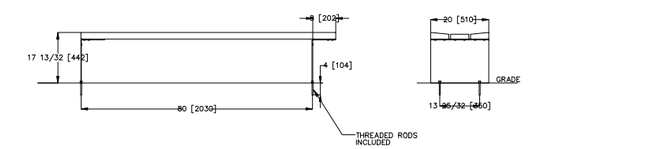
1 1/2" = 1'-0" P-22 150-116



5 SITE FURNISHING 06 - BIKE RACK (SF-06)

1" = 1'-0" P-22 150-13

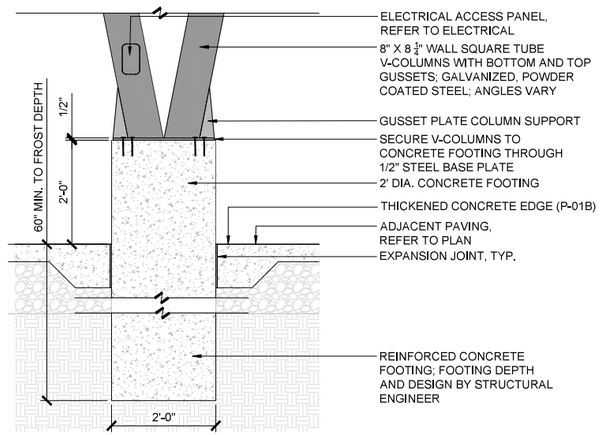




2 SITE FURNISHING 03 - PICNIC BENCH (SF-03)

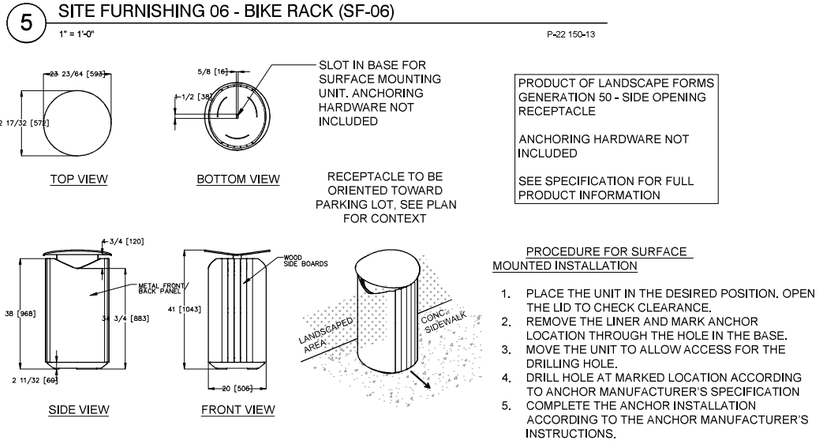
1/2" = 1'-0" P-22 150-101

NOTES:
1. REFER TO SHEET L503 FOR PAVILION DETAILS
2. CONTRACTOR TO PRODUCE AND SUBMIT ENGINEERED SHOP DRAWINGS STAMPED BY A LICENSED STRUCTURAL ENGINEER FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
3. THICKENED CONCRETE EDGE LOCATION TO BE COORDINATED BETWEEN G.C. AND PAVILION FABRICATOR THROUGHOUT SHOP DRAWING PROCESS.



7 DETAIL - SHADE PAVILLION V-COLUMNS & FOOTING

3/4" = 1'-0" P-22 150-115



PRODUCT OF LANDSCAPE FORMS GENERATION 50 - SIDE OPENING RECEPTACLE

ANCHORING HARDWARE NOT INCLUDED

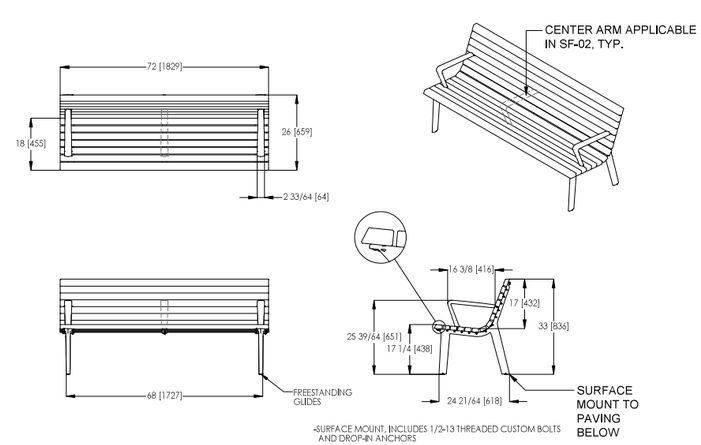
SEE SPECIFICATION FOR FULL PRODUCT INFORMATION

PROCEDURE FOR SURFACE MOUNTED INSTALLATION

1. PLACE THE UNIT IN THE DESIRED POSITION. OPEN THE LID TO CHECK CLEARANCE.
2. REMOVE THE LINER AND MARK ANCHOR LOCATION THROUGH THE HOLE IN THE BASE.
3. MOVE THE UNIT TO ALLOW ACCESS FOR THE DRILLING HOLE.
4. DRILL HOLE AT MARKED LOCATION ACCORDING TO ANCHOR MANUFACTURER'S SPECIFICATION
5. COMPLETE THE ANCHOR INSTALLATION ACCORDING TO THE ANCHOR MANUFACTURER'S INSTRUCTIONS.

4 SITE FURNISHING 05 - RECEPTACLE (SF-05)

1/2" = 1'-0" P-22 150-21



1 SITE FURNISHING 01 & 02 - 6' BACKED BENCH (SF-01 & SF-02)

1/2" = 1'-0" P-22 150-48

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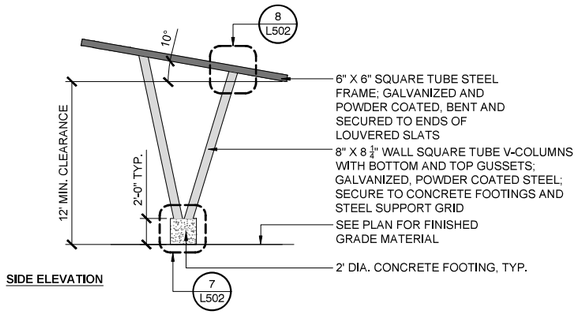
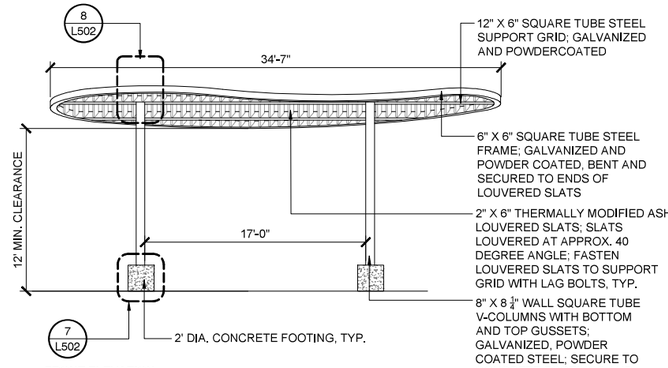
SITE DETAILS

L502

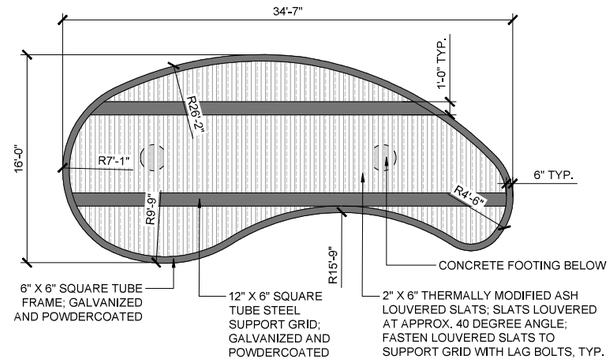
DESIGN INTENT



SIDE ELEVATION



FRONT ELEVATION



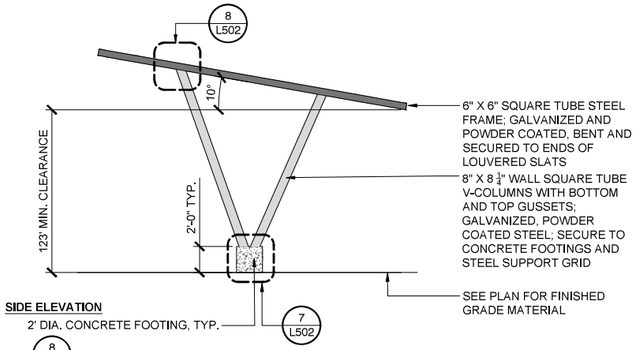
PLAN VIEW

2 DETAIL - SITE AMENITY TYPE 02 - PLAYGROUND SHADE PAVILION (AM-02)

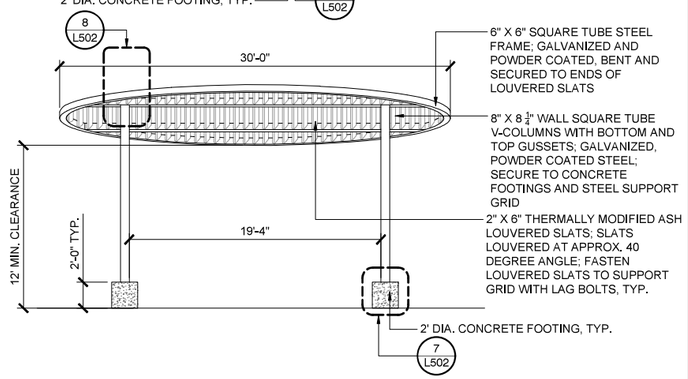
3/16" = 1'-0"

P-22 150-113

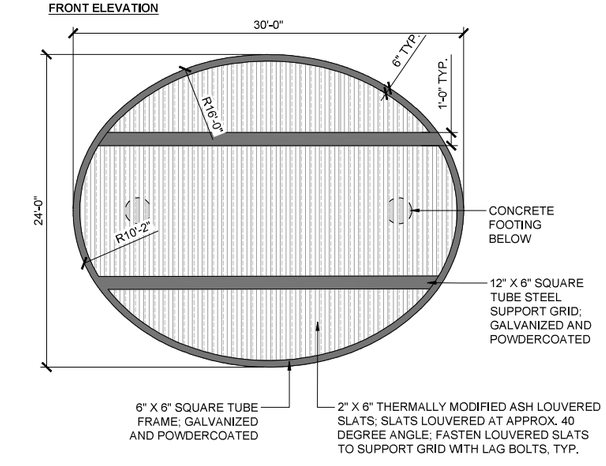
DESIGN INTENT



SIDE ELEVATION



FRONT ELEVATION



PLAN VIEW

1 DETAIL - SITE AMENITY TYPE 01 - COMMUNITY CENTER SHADE PAVILION (AM-01)

3/16" = 1'-0"

P-22 150-114

GENERAL SHADE PAVILION NOTES:

1. CONTRACTOR TO PRODUCE AND SUBMIT ENGINEERED SHOP DRAWINGS STAMPED BY A LICENSED STRUCTURAL ENGINEER FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.

2. SHOP DRAWINGS TO INCLUDE TYPES OF METAL AND WOOD COMPONENTS OF EACH SHADE PAVILION AND LIST THE FASTENER AND WELD TYPES NEEDED TO ASSEMBLE THEM.

3. SHOP DRAWINGS TO INCLUDE CORROSION RESISTANT FINISHES TO BE APPLIED TO METAL COMPONENTS.

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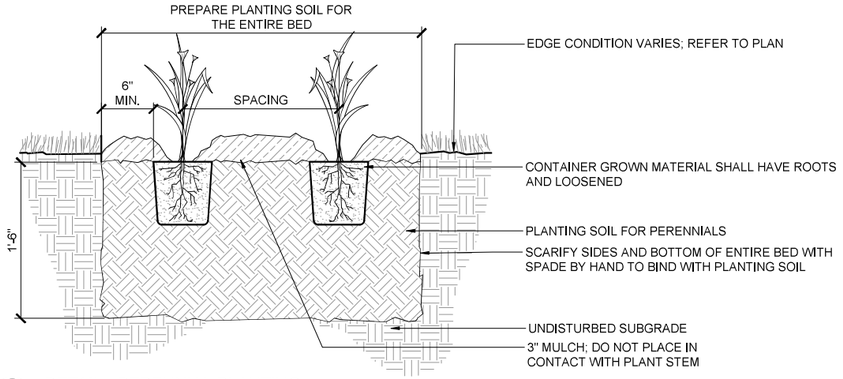
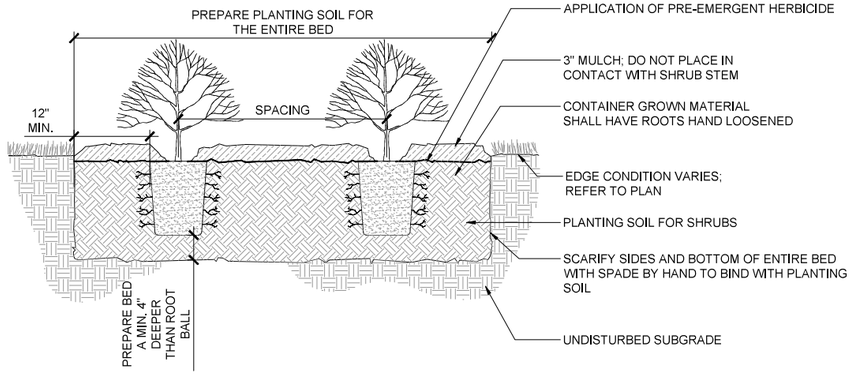
SITE DETAILS

L503



4 DETAIL - PERENNIAL PLANTING

1 1/2" = 1'-0" P-22 184-16

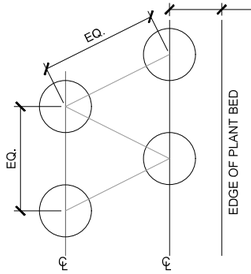


2 DETAIL - SHRUB PLANTING

1" = 1'-0" P-22 184-14

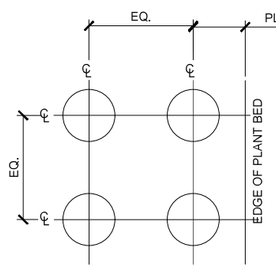
NOTE: REFER TO PLANTING SCHEDULE
PLANT SPACING.

1/2 PLANT SPACING
UNLESS OTHERWISE
NOTED ON PLANTING
SCHEDULE & PLAN



TRIANGULAR SPACING LAYOUT PLAN

1/2 PLANT SPACING UNLESS
OTHERWISE NOTED ON
PLANTING SCHEDULE & PLAN



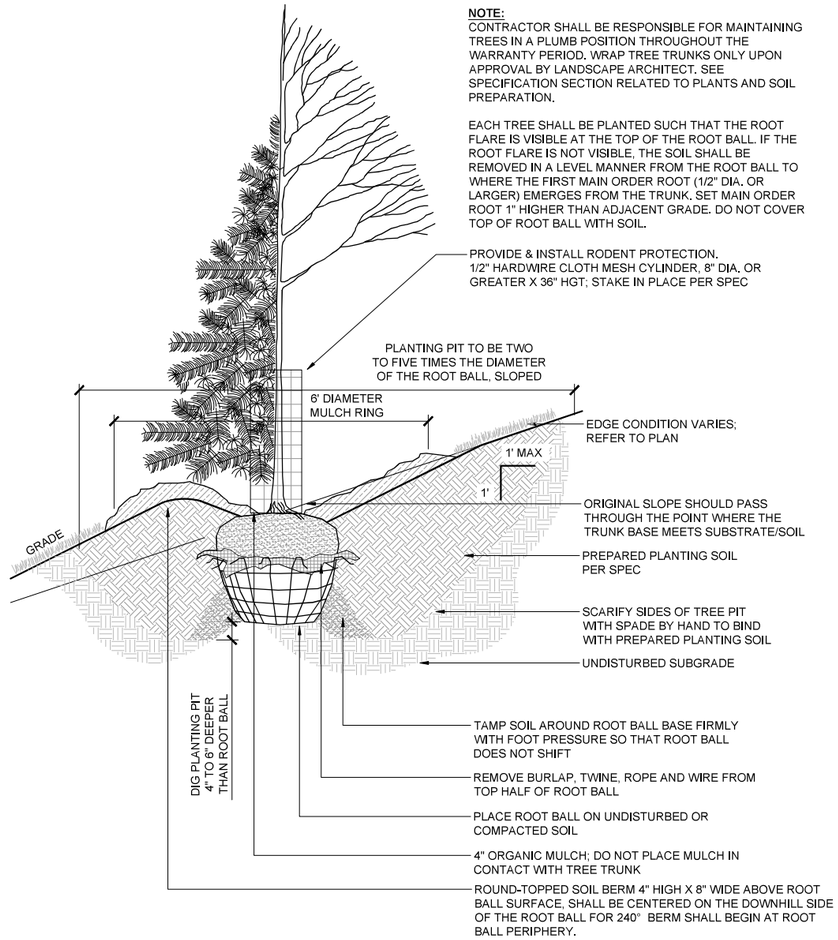
GRID SPACING LAYOUT PLAN

5 DETAIL - PLANT SPACING

3/4" = 1'-0" P-22 184-12

NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE WARRANTY PERIOD. WRAP TREE TRUNKS ONLY UPON APPROVAL BY LANDSCAPE ARCHITECT. SEE SPECIFICATION SECTION RELATED TO PLANTS AND SOIL PREPARATION.

EACH TREE SHALL BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. IF THE ROOT FLARE IS NOT VISIBLE, THE SOIL SHALL BE REMOVED IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE FIRST MAIN ORDER ROOT (1/2" DIA. OR LARGER) EMERGES FROM THE TRUNK. SET MAIN ORDER ROOT 1" HIGHER THAN ADJACENT GRADE. DO NOT COVER TOP OF ROOT BALL WITH SOIL.

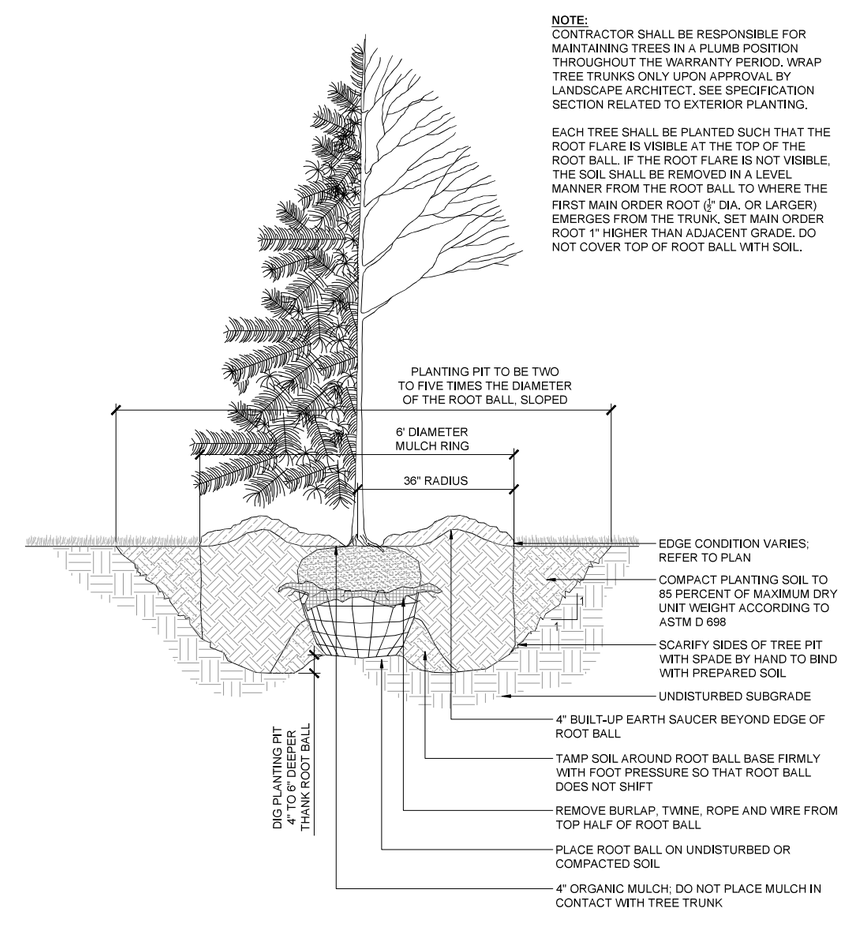


3 DETAIL - TREE PLANTING ON SLOPE 5% (20:1) TO 50% (2:1)

3/4" = 1'-0" P-22 150-16

NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE WARRANTY PERIOD. WRAP TREE TRUNKS ONLY UPON APPROVAL BY LANDSCAPE ARCHITECT. SEE SPECIFICATION SECTION RELATED TO EXTERIOR PLANTING.

EACH TREE SHALL BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. IF THE ROOT FLARE IS NOT VISIBLE, THE SOIL SHALL BE REMOVED IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE FIRST MAIN ORDER ROOT (½" DIA. OR LARGER) EMERGES FROM THE TRUNK, SET MAIN ORDER ROOT 1" HIGHER THAN ADJACENT GRADE. DO NOT COVER TOP OF ROOT BALL WITH SOIL.



1 TREE PLANTING DETAIL

3/4" = 1'-0" P-22 184-10

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PLANTING DETAILS

L504

ELECTRICAL SYMBOLS

LIGHTING SYMBOLS

MNT HT	SYMBOL	DESCRIPTION
		WALL MOUNTED FLUORESCENT
		1X4 FLUORESCENT
		2X2 FLUORESCENT
		2X4 FLUORESCENT
		DOWNLIGHT
		WALLWASHER
		INT/EXT WALL FIXTURE/SCONCE
		HIGH BAY
		1X4 FLUORESCENT - EMERGENCY
		2X2 FLUORESENT - EMERGENCY
		2X4 FLUORESCENT - EMERGENCY
		STRIP FLUORESCENT
		STRIP/WRAP - EMERGENCY
		DOWNLIGHT - EMERGENCY
		WALLWASHER - EMERGENCY
	LTY	LIGHTING TRACK/BUSWAY - HEADS PER DRAWINGS
		BATTERY PACK
		BATTERY PACK - 3 HEAD
		REMOTE HEADS - SINGLE, DOUBLE, TRIPLE
		EXITLIGHT - WALL
		EXITLIGHT w/HEADS - WALL
		EXITLIGHT - CEILING
		SITE LIGHT - POLE MOUNT
		SITE LIGHT - PEDESTRIAN
		IN-GRADE FIXTURE
		FLOOD LIGHT
48"		SWITCH - SIMPLEX
48"		SWITCH - PILOT LIGHT
48"	600	SWITCH - DIMMER: WATTAGE
	OS	OCCUPANCY SENSOR
	LC	LIGHTING CONTACTOR
	LR	LOW VOLTAGE RELAY
	PC	PHOTO-CELL

SYSTEMS SYMBOLS

MNT HT	SYMBOL	DESCRIPTION
80"	F	VISUAL ALARM ANNUNCIATOR
80"	F	AUDIBLE/VISUAL ALARM ANNUNCIATOR
48"	F	MANUAL PULL
	F	BELL/STROBE - CEILING MOUNTED
	F_P	SMOKE DETECTOR - PHOTOELECTRIC
	F_I	SMOKE DETECTOR - IONIZATION
	F_{DP}	DUCT SMOKE DETECTOR - PHOTOELECTRIC
	F_{DI}	DUCT SMOKE DETECTOR - IONIZATION
	F_H	HEAT DETECTOR
		DOOR HOLD OPEN
80"		BELL
80"		HORN
54"	FANC	FIRE ALARM ANNUNCIATOR PANEL
54"	FACP	FIRE ALARM CONTROL PANEL
	FS	FLOW SWITCH
	TS	TAMPER SWITCH
	HB	HELP BUTTON
	CR	CARD READER
	RX	REQUEST TO EXIT MOTION DETECTOR
	MD	MOTION DETECTOR - CEILING
	MD	MOTION DETECTOR - WALL
	GB	GLASS BREAK DETECTOR - WALL
	GB	GLASS BREAK DETECTOR - CEILING
	AC	ALARM CONTACTS
	EL	ELECTRIC LOCK
	ES	ELECTRIC STRIKE
	ML	MAGNETIC LOCK
	KP	KEYPAD ARMING STATION
		VEHICLE DETECTION LOOP
	TV	CCTV CAMERA - CEILING
	TV	CCTV CAMERA - WALL
	TV	CCTV CAMERA - PAN TILT ZOOM
	DCP	DOOR CONTROL PANEL
	SCP	SECURITY SYSTEM CONTROL PANEL
	ET	EMERGENCY TELEPHONE
	ET	EMERGENCY TELEPHONE - BOLLARD

SYSTEMS SYMBOLS

MNT HT	SYMBOL	DESCRIPTION
18"		TELEPHONE OUTLET
54"		TELEPHONE OUTLET - WALL
		TELEPHONE OUTLET - FLOOR
		TELEPHONE BACKBOARD
18"		DATA OUTLET
		DATA OUTLET - FLOOR
18"		VOICE/DATA OUTLET
		VOICE/DATA OUTLET - FLOOR
18"		DUAL DATA
		DUAL DATA - FLOOR
	C	CLOCK OUTLET
		HORN
	S	SPEAKER - CEILING
	S	SPEAKER - WALL
54"		VOLUME CONTROL
54"		MICROPHONE - WALL
		MICROPHONE - FLOOR
		BUZZER
		BELL
		CHIME
54"		PUSHBUTTON
		POWER/DATA RACEWAY
18"		TV OUTLET - WALL
		TV OUTLET - CEILING
		REFRIGERATION CONTROL CONDUIT

MISCELLANEOUS SYMBOLS

1	KEY NOTE
ZZZ / XX	EQUIPMENT TAG

POWER SYMBOLS

MNT HT	SYMBOL	DESCRIPTION
18"		RECEPTACLE - SIMPLEX
18"		RECEPTACLE - DUPLEX
18"		RECEPTACLE - QUADPLEX
		RECEPTACLE - CEILING MOUNT
18"		RECEPTACLE - DUPLEX EMERGENCY
18"		RECEPTACLE - QUADPLEX EMERGENCY
18"		RECEPTACLE - SWITCHED
		COMPUTER RECEPTACLE - DUPLEX
		COMPUTER RECEPTACLE - QUADPLEX
		COMPUTER RECEPTACLE - DUPLEX CEILING MOUNT
		COMPUTER RECEPTACLE - QUADPLEX CEILING MOUNT
		COMPUTER RECEPTACLE - DUPLEX FLOOR
		COMPUTER RECEPTACLE - QUADPLEX FLOOR
		RECEPTACLE - DUPLEX FLOOR
		RECEPTACLE - QUADPLEX FLOOR
		RECEPTACLE - QUAD FLOOR EMERGENECY
		RECEPTACLE - SPECIAL PURPOSE - SEE DWGS
18"		RECEPTACLE - SPECIAL PURPOSE - SEE DWGS
18"	J	JUNCTION BOX - WALL
	J	JUNCTION BOX - CEILING
	J	JUNCTION BOX - FLOOR
		MOTOR
54"		DISCONNECT SWITCH
54"	F	FUSED DISCONNECT SWITCH
54"		STARTER
		PUSHBUTTON
	MSS	MOTOR STARTER SWITCH
	T	THERMOSTAT
		COMBINATION STARTER-DISCONNECT
	C	CONTACTOR
		GROUND
	M	METER
	ATS	AUTOMATIC TRANSFER SWITCH
		LTG/REC PANELBOARD
		DISTRIBUTION PANELBOARD

LIGHT FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	LAMPS	VOLTAGE	APPARENT LOAD	MOUNTING TYPE	DESCRIPTION	NOTE
A1	ACUITY-HALOPHANE	GVD3 P20 30K MVOLT MS GL5 BK ST TBK PR / AP20-14,5 F S 1 1 / C11242NG4VP	3000K LED/ 5394 LUMEN	120 V	39 VA	SURFACE	TRADITIONAL ACORN PEDESTRIAN LAMP WITH FROSTED LENS, 3000K, WITH 14' - 6" FLUTED POLE AND FLUSH GRADE BASE	
B1	ACUITY-HALOPHANE	PSLED P4 40K MVOLT 65 KM BKSPD WL 23 PSLEDFV BKSDP	4000K LED/ 17600 LUMEN	120 V	123 VA	POLE	WIDE PATTERN SMALL LED FLLOD WITH FULL VISOR, BLACK FINISH. PROVIDE DUAL MOUNT POLE TOP ON EXISTING POLE.	

ELECTRICAL SHEET LIST	
E000	ELECTRICAL TITLE SHEET & SCHEDULES
E001	ELECTRICAL SITE PLAN
LPC1	LIGHITNG PHOTOMETRIC CALCULATIONS

LP-1 EXISTING

PARK RESTROOM BLDG
SURFACE MOUNT
TOP FEED
INTEGRATED SHORT CIRCUIT CURRENT RATING (IER) - 10,000 RMS

120/240 VOLT, 2 PHASE, 3 WIRE, WITH GROUND BUS
200A BUS
200A MCB
SUPPLIED FROM UTILITY TRANSFORMER

DESCRIPTION	LOAD KVA	LOAD QTY	LOAD TYPE	BREAKER AMP/POLE	#		#	BREAKER AMP/POLE	LOAD TYPE	LOAD QTY	KVA	DESCRIPTION
STORAGE LIGHTS	0.5		L	20/1	1	A	2	20/1	R		0.2	STORAGE RCPT
RESTROOM LIGHTS	0.5		L	20/1	3	B	4	20/1	R		0.4	RESTROOM GFCI RCPTS
OUTSIDE LIGHTS	0.5		L	20/1	5	A	6	20/1	R		0.2	OUTSIDE GFCI RCPT
LCP, TIME CLOCK	0.6		PN	20/1	7	B	8	20/1	PN		1	WOMENS HAND DRYER
FLUSH SELONOID	0.3		PN	20/1	9	A	10	20/1	PN		1	MENS HAND DRYER
OUTSIDE POLE LIGHT	0.5		L	20/1	11	B	12	30/1	L		1	OUTSIDE POLE LIGHTS
MIDWEST BOX	3.4		R	50/2	13	A	14	20/1	L		1	OUTSIDE POLE LIGHTS
	3.4		R		15	B	16	50/2	PN		3	FEED TO GAZEBO
MIDWEST BOX NORTH	0.2		R	20/1	17	A	18		PN		3	
MIDWEST BOX NORTH	0.2		R	20/1	19	B	20	30/2	PN		2.5	HEATER
FUTURE SPLASH POOL	0		PN	40/2	21	A	22		PN		2.5	
	0		PN		23	B	24		SC			SPACE
FUTURE POOL CONTROL	0		PN	40/1	25	A	26		SC			SPACE
PAVILIAN RCPTS	0.7		R	20/1	27	B	28		SC			SPACE
SPACE			SC		29	A	30		SC			SPACE
SPACE			SC		31	B	32		SC			SPACE
SPACE			SC		33	A	34		SC			SPACE
SPACE			SC		35	B	36		SC			SPACE
SPACE			SC		37	A	38		SC			SPACE
SPACE			SC		39	B	40		SC			SPACE
SPACE			SC		41	A	42		SC			SPACE

Connected Load	KVA	AMPS	Type	KVA	Factor	KVA	
Phase A	12.8	106.7	L	4.0	x 1.25 =	5.0	
Phase B	13.8	115.0	R	8.7	x 0.5 =	8.7	*100% of 1st 10kva, plus 50% of remainder.
	0.0	0.0	PN	13.9	x 1 =	13.9	
Total	26.6		PW	0.0	x 1 =	0.0	
Average		110.8	MN	0.0	x 1 =	0.0	
*Spares not included			MNI	0.0	x 1 =	0.0	
			MS	0.0	x 1 =	0.0	26.6 Total Connected KVA
			MW	0.0	x 1 =	0.0	110.8 Total Connected Amps
			KT	0.0	x 0.65 =	0.0	27.6 Total Demand KVA
			Total	26.6		27.6	115.0 Total Demand Amps

LIGHITNG CONTROL SCHEDULE (LCP)

ZONE	ZONE DESCRIPTION	ZONE LOCATION	LIGHT SOURCE	DIMMING	TIME OF DAY CONTROL	PHOTOCELL CONTROL	NOTES
A	PATHWAY LIGHTS	PARK	LED	NO	NO	YES	
B	FEATURE LIGHTS	PAVILION	LED	NO	YES	YES	

LIGHTING CONTROL NOTES:

PROVIDE LIGHTING CONTROLS THAT FULFILL THE INTENT AS DESCRIBED BELOW. ACCEPTABLE MANUFACTURERS INCLUDE ACUITY FRESCO, CRESTRON, LEVITON, AND ILC.

PROVIDE CENTRALIZED LIGHTING CONTROL SYSTEM WITH INPUT FROM USER PROGRAMMING, PHOTOCELL CONTROL, AND LOCAL OVERRIDE CONTROLS THAT ARE PROTECTED BY KEY OR PASSWORD. PROVIDE TOUCH SCREEN LIGHTING CONTROLLERS FOR LOCAL OVERRIDE AND LIGHTING CONTROL PROGRAMMING, SHALL BE PROGRAMMED SUCH THAT ALL LIGHTING IS QUICKLY ACCESSIBLE.

PROVIDE ALL PARTS AND LABOR TO FORM A COMPLETE LIGHTING CONTROL SYSTEM EQUIVALENT TO AN ACUITY FRESCO LIGHTING CONTROL SYSTEM AND ALL ASSOCIATED LIGHTING PANELS AND DEVICES.

CONTROL POWER FOR LCP-1 SHALL BE PROVIDED BY CIRCUIT LP-1/7.

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100%
CONSTRUCTION
DRAWINGS

GORMAN PARK
ST. PETER, MINNESOTA

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Name JEFFREY A. PIEHL
Registration# 43926
Signature 12/24/2024
Date

100% CD SET 12/24/2024
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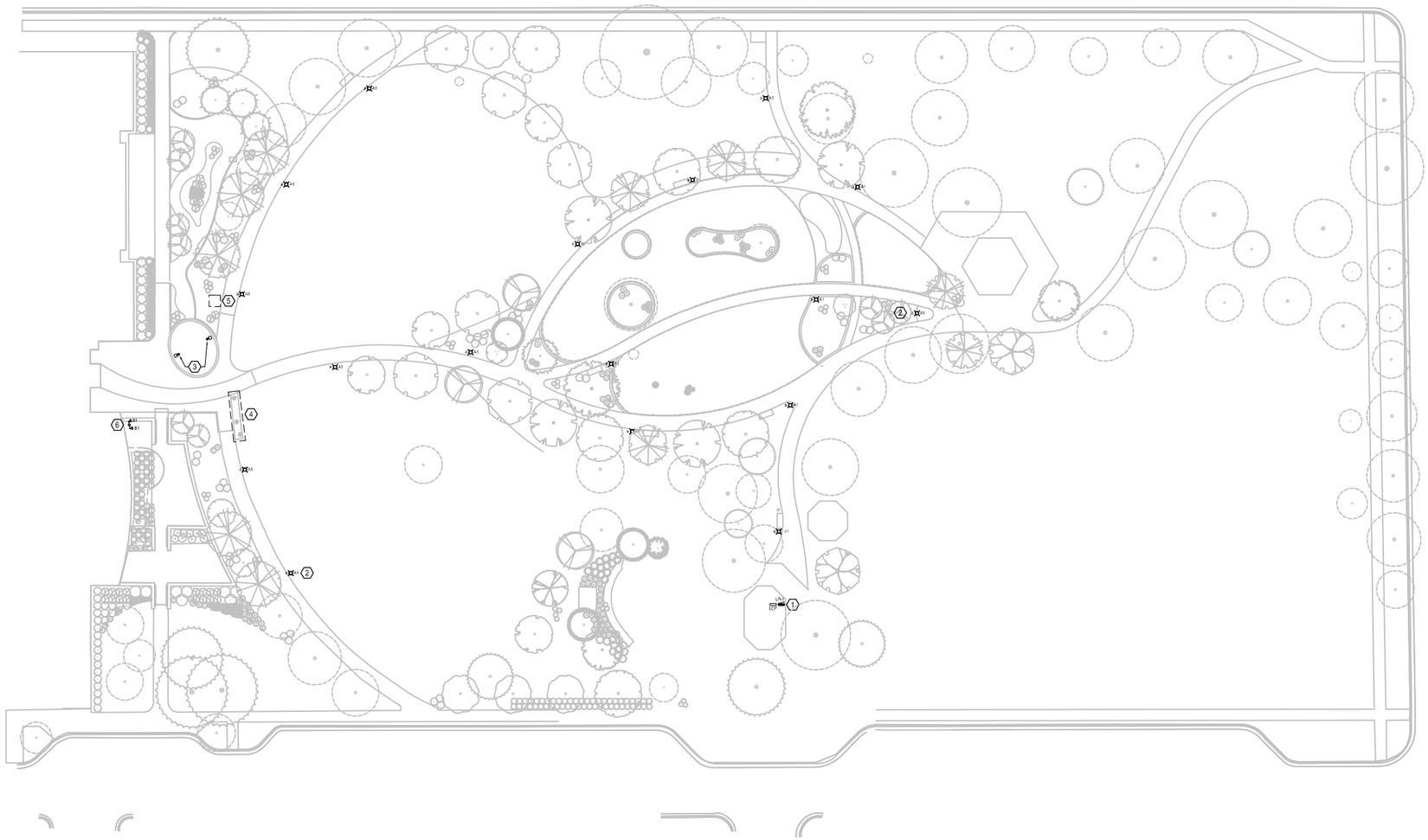
REVISION --

ELECTRICAL
TITLE SHEET
& SCHEDULES

E000



1 PLAN NORTH — ELECTRICAL SITE PLAN — E001

0 10 20 30 40 50 60

GENERAL NOTES

A. THESE PLANS WERE PREPARED USING EXISTING CONSTRUCTION DOCUMENTS AND CASUAL FIELD OBSERVATION. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS ON SITE AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

B. THE CONTRACTOR SHALL MAINTAIN SERVICE TO ALL DOWNSTREAM DEVICES AND EQUIPMENT AFFECTED BY REMODELING. PROVIDE NEW CONDUITS, WIRING AND CONNECTIONS AS REQUIRED.

C. CUTTING AND PATCHING OF EXISTING WALLS, FLOORS & CEILINGS REQUIRED FOR INSTALLATION OF NEW WORK OR REMOVAL OF EXISTING WORK SHALL BE PROVIDED BY ARCHITECTURAL SPECIFICATIONS.

D. ALL FACEPLATES SHALL BE STEEL. PROVIDE COVER-PLATES FOR ALL ABANDONED BOXES.

E. EQUIPMENT BY OTHER TRADES ARE SHOWN WHERE AN ELECTRICAL CONNECTION IS NECESSARY. REFERENCE MECHANICAL, PLUMBING, AND REFRIGERATION PLANS FOR EXACT LOCATIONS OF EQUIPMENT.

F. SOME OF THE DEVICES TO BE DEMOLISHED ARE IDENTIFIED BY NOTE. THESE NOTES DO NOT COVER THE EXTENT OF THE DEMOLITION. COORDINATE WITH OTHER TRADES TO PROVIDE DEMOLITION OF CONDUIT AND WIRING OF OTHER SYSTEMS. REMOVE OUTLETS, CAP THE CONNECTIONS AND PROVIDE BLANK COVER-PLATES AS NEEDED.

G. SEE STRUCTURAL DRAWINGS FOR SPECIFIC ALLOWABLE LOCATIONS TO CORE DRILL HOLES THROUGH EXISTING OR NEW WALLS.

H. DEMOLISHED EQUIPMENT ELECTRICAL CONNECTIONS SHALL BE REMOVED BACK TO THE SOURCE AND THE BREAKERS MARKED 'SPARE'.

I. ALL LIGHTING FIXTURE PROPOSED EQUALS SHALL BE SUBMITTED FOR APPROVAL TWO (2) WEEKS BEFORE BIDS ARE DUE.

J. CIRCUIT ALL EXIT SIGNS & EGRESS LIGHTING TO ROOM LIGHTING CIRCUIT AHEAD OF ANY SWITCHING.

K. REFER TO SHEET E000 FOR ELECTRICAL CIRCUIT INFORMATION. EC TO VERIFY AVAILABLE SPARES IN PANELS INDICATED AND REROUTE CIRCUITING AS REQUIRED.

L. ALL UNDERGROUND CONDUITS TO BE BURIED MINIMUM 2'-0" BELOW FINAL GRADE.

KEY NOTES

(1) EXISTING 200 AMP 120/240V ELECTRICAL PANEL.

(2) MAKE PROVISIONS AT THIS POLE FOR CONNECTION TO ADDITIONAL PATH LIGHTING TO BE ADDED IN BID PACKAGE #2.

(3) PROVIDE GFCI RECEPTACLE WITH WP WHILE IN-USE COVER MOUNTED TO STRUCTURE COLUMN AT 24" AFG. UTILIZE EXISTING CIRCUITS FROM DEMOLISHED PEDESTAL FEED. PROVIDE NEW BREAKERS AND WIRE FROM EXISTING PANEL TO NEW RECEPTACLE LOCATIONS. UTILIZE EXISTING CONDUIT AND EXTEND TO NEW LOCATION WITH MINIMUM 24" BURIAL DEPTH. COORDINATE COUNDUIT ROUTING WITH PAVILION COLUMN SUPPORT AND BASE.

(4) EXISTING IN-GRADE LIGHTING TO BE REMOVED.

(5) EXISTING PEDESTAL POWER BOX TO BE REMOVED.

(6) EXISTING FLOOD LIGHT TO BE REMOVED AND REPLACED WITH DUAL LED FLOOD LIGHTS. PROVIDE TWIN MOUNT POLE TOP (HOLOPHANE BR19## SERIES OR SIMILAR) FOR MOUNTING THE NEW FLOOD LIGHTS. UTILIZE THE EXISTING CIRCUIT AND CONTROLS.

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Signature	12/24/2024
	Date
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ELECTRICAL SITE PLAN

E001

1 PLAN NORTH — LIGHTING PHOTOMETRIC PLAN — LPC1

0 10 20 30 40 50 60

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LIGHTING PHOTOMETRIC CALCULATIONS

LPC1